

NSW Department of Planning and Environment

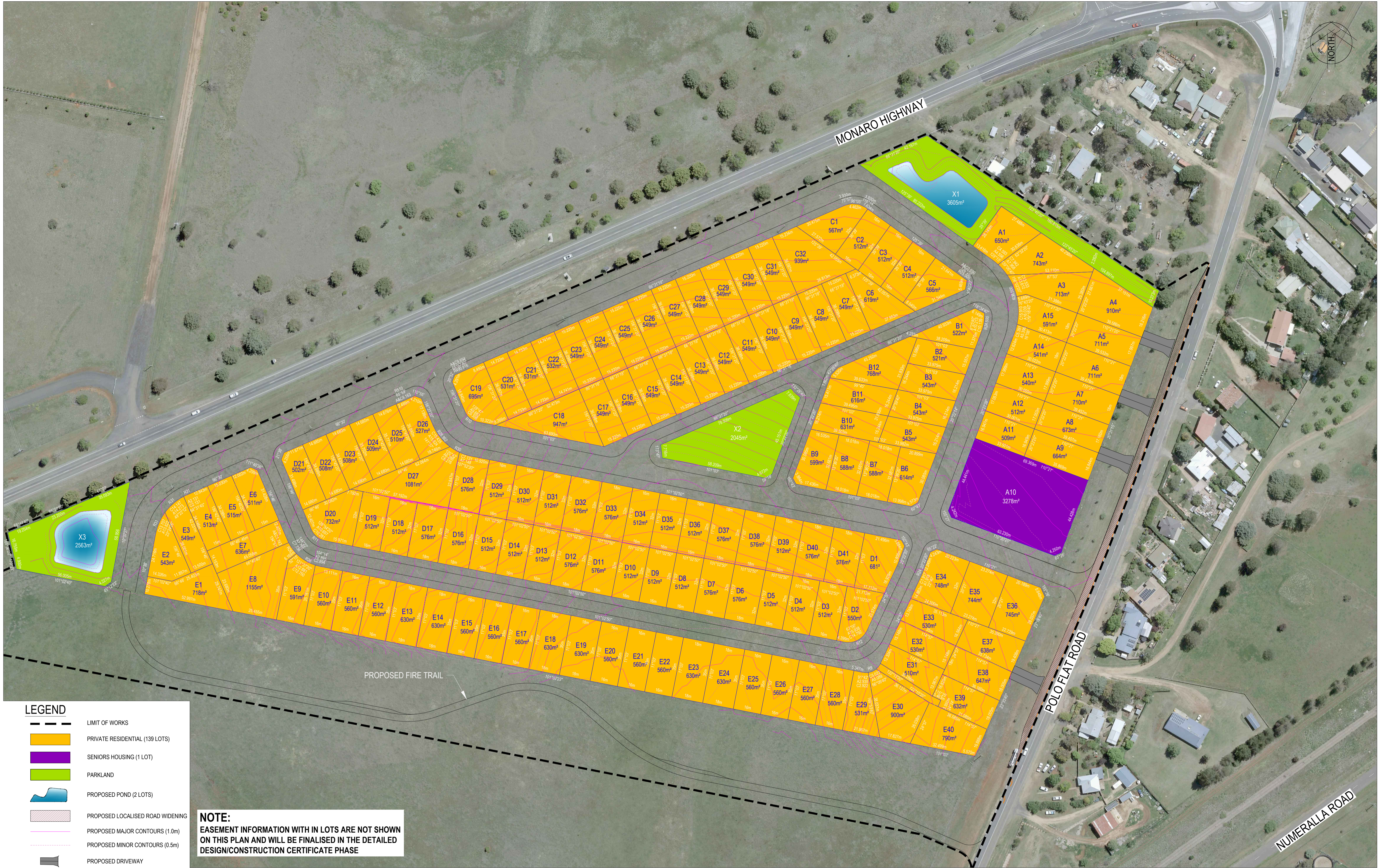
POLO FLAT ROAD RESIDENTIAL DEVELOPMENT (PRECINCT 2, LOT 2 & 4 DP 1285072)

COVER SHEET AND LOCALITY PLAN
APRIL 2023

PART 5 NSW LACH APPLICATION - BGYV7



LOCALITY PLAN
NOT TO SCALE



LEGEND

- LIMIT OF WORKS
- PRIVATE RESIDENTIAL (139 LOTS)
- SENIORS HOUSING (1 LOT)
- PARKLAND
- PROPOSED POND (2 LOTS)
- PROPOSED LOCALISED ROAD WIDENING
- PROPOSED MAJOR CONTOURS (1.0m)
- PROPOSED MINOR CONTOURS (0.5m)
- PROPOSED DRIVEWAY

NOTE:
EASEMENT INFORMATION WITH IN LOTS ARE NOT SHOWN
ON THIS PLAN AND WILL BE FINALISED IN THE DETAILED
DESIGN/CONSTRUCTION CERTIFICATE PHASE

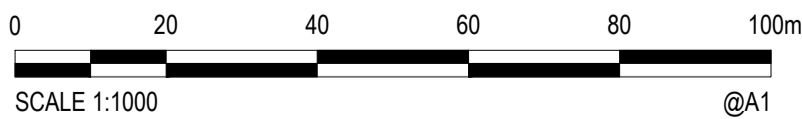


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Planning & Environment



NSW Department of Planning and Environment
POLO FLAT ROAD
RESIDENTIAL DEVELOPMENT
PRECINCT 2, LOT 2 & 4 DP 1285072

PROPOSED LOT DEVELOPMENT LAYOUT
LOT LAYOUT DETAILS

Date
31/03/2023

Scale
1:1000

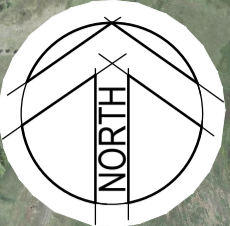
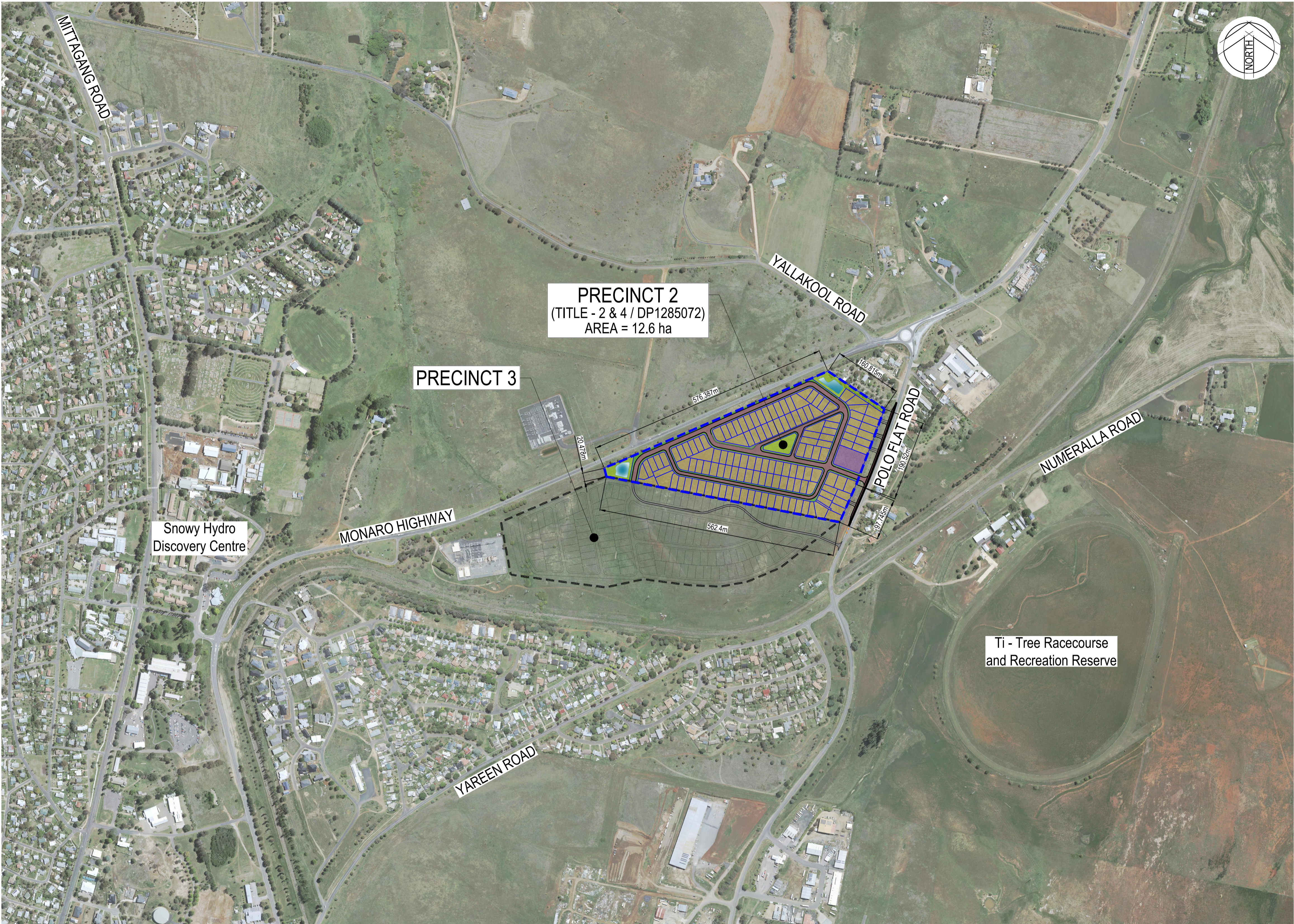
Size
A1

304000923-SK-C-1000
Drawing Number

Revision

DATE PLOTTED: 17 April 2023 10:31 AM BY: DAVID PIGRAM

XREFs: 50522046-A1Title: X:\IMG_YALL_RD_LOCAL_PLAN_50522046_X_ACT_TRAV_50522046_X_ROAD_HICHT_50522046_X_SERV_PROP_50522046_Lot Areas - REVISION 2
CAD File: N:\Projects\50522046_YALLAKOOL_RD_RESIDENTIAL DEVELOPMENT\Drawings\Build\50522046-C-2001_Loc & Sch.dwg



PRECINCT 2
(TITLE - 2 & 4 / DP1285072)
AREA = 12.6 ha

PRECINCT 3

Snowy Hydro
Discovery Centre

MONARO HIGHWAY

YALLAKOOL ROAD

POLO FLAT ROAD

NUMERALLA ROAD

YAREEN ROAD

Ti - Tree Racecourse
and Recreation Reserve

SITE PLAN
SCALE 1:5000

SCHEDULE OF DRAWINGS

DRAWING No.	DESCRIPTION
50522046-C-2000	COVER SHEET AND LOCALITY PLAN FOR DEVELOPMENT APPLICATION
50522046-C-2001	SITE PLAN AND DRAWING SCHEDULE
50522046-C-2002	GENERAL NOTES AND LEGEND
50522046-C-2005	GENERAL ARRANGEMENT PLAN
50522046-C-2010	EXISTING ZONING PLAN
50522046-C-2011	BUSHFIRE ASSET PROTECTION PLAN
50522046-C-2012	ROAD HIERARCHY PLAN
50522046-C-2015	TYPICAL ROAD CROSS SECTIONS SHEET 1 OF 2
50522046-C-2016	TYPICAL ROAD CROSS SECTIONS SHEET 2 OF 2
50522046-C-2020	ROAD LONG SECTIONS ROAD 01
50522046-C-2021	ROAD LONG SECTIONS ROAD 07 SHEET 1 OF 2
50522046-C-2022	ROAD LONG SECTIONS ROAD 07 SHEET 2 OF 2
50522046-C-2023	ROAD LONG SECTIONS ROAD 08 AND ROAD 09
50522046-C-2030	ACTIVE TRAVEL PLAN
50522046-C-2032	ISOPACH
50522046-C-2034	RETAINING WALL PLAN
50522046-C-2035	TYPICAL CUT/FILL SECTIONS SHEET 1 OF 4
50522046-C-2036	TYPICAL CUT/FILL SECTIONS SHEET 2 OF 4
50522046-C-2037	TYPICAL CUT/FILL SECTIONS SHEET 3 OF 4
50522046-C-2038	TYPICAL CUT/FILL SECTIONS SHEET 4 OF 4
50522046-C-2040	CONCEPT STORMWATER PLAN AND WATER SENSITIVE URBAN DESIGN OUTCOME PLAN
50522046-C-2041	WATER SENSITIVE URBAN DESIGN OUTCOME PLAN AND WATER QUALITY TABLE
50522046-C-2042	WATER SENSITIVE URBAN DESIGN SPEL ECOCEPTOR - SERIES 4000 SHEET 1 OF 2
50522046-C-2043	WATER SENSITIVE URBAN DESIGN SPEL ECOCEPTOR - SERIES 8000 SHEET 2 OF 2
50522046-C-2045	CONCEPT SEWER PLAN
50522046-C-2046	CONCEPT SEWER PLAN SEWER CALCULATIONS TABLE
50522046-C-2050	CONCEPT WATER PLAN
50522046-C-2051	WATER DEMAND CALCULATION
50522046-C-2055	CONCEPT SERVICES PLAN
50522046-C-2060	SOIL AND WATER MANAGEMENT PLAN
50522046-C-2065	VEHICLE TURNING PATH ANALYSIS SHEET 1 OF 2
50522046-C-2066	VEHICLE TURNING PATH ANALYSIS SHEET 2 OF 2

Rev.	Date	Description	Des.	Verif.	Appd.
G	17/04/2023	FINAL DRAWINGS FOR Part 5 APPLICATION	TM	FL	JS
F	27/10/2022	FINAL	TM	FL	JS
E	20/10/2022	DRAFT FOR REVIEW	TM	FL	JS
D	05/10/2022	DRAFT FOR REVIEW	TM	FL	JS
C	28/09/2022	DRAFT FOR REVIEW	TM	FL	JS
B	23/09/2022	DRAFT FOR REVIEW	TM	FL	JS
A	09/09/2022	DRAFT FOR REVIEW	TM	FL	JS



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Drawn AA 27/10/2022	Date 27/10/2022	Client NSW Department of Planning and Environment
Checked JS 27/10/2022	Date 27/10/2022	Project POLO FLAT ROAD RESIDENTIAL DEVELOPMENT PRECINCT 2, LOT 2 & 4 DP 1285072
Designed TM 27/10/2022	Date 27/10/2022	Title SITE PLAN AND DRAWING SCHEDULE
Verified FL 27/10/2022	Date 27/10/2022	Status FOR APPROVAL NOT TO BE USED FOR CONSTRUCTION PURPOSES
Approved JS 27/10/2022	Date 27/10/2022	Datum AHD
	Scale 1:5000	Size A1
	Drawing Number 50522046-C-2001	Revision G

GENERAL NOTES

1. THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE OCCUPATIONAL HEALTH AND SAFETY ACT 2000, WHICH REQUIRES EMPLOYERS TO ENSURE THE HEALTH, SAFETY AND WELFARE OF EMPLOYEES.
2. THE CONTRACTOR SHALL AT ALL TIMES EXERCISE ALL NECESSARY PRECAUTIONS APPROPRIATE TO ENSURE THE SAFETY OF ALL PERSONS ON THE WORK SITE OR IN THE VICINITY OF THE WORK SITE.
3. SEDIMENT AND EROSION CONTROL MEASURES AS DETAILED ON THE EROSION AND SEDIMENT CONTROL PLAN AND IN ACCORDANCE WITH LANDCOM'S SOILS AND CONSTRUCTION VOLUME 1, 4TH EDITION, MARCH 2004 AND GOULBURN MULWAREE COUNCIL'S DEVELOPMENT DESIGN SPECIFICATION D7.
4. ALL CONSTRUCTION WORK IS TO BE CARRIED OUT SO THAT AT ANY TIME ADJOINING PROPERTY OWNERS ARE NOT DEPRIVED OF AN ALL-WEATHER ACCESS OR SUBJECTED TO ADDITIONAL STORM WATER RUN-OFF DURING THE PERIOD OF CONSTRUCTION.
5. TO LIMIT THE IMPACT OF THE CONSTRUCTION ON ADJOINING OWNERS, ALL WORKS SHALL BE RESTRICTED TO THE HOURS OF 7am-6pm MONDAY TO FRIDAY AND 8am-3pm SATURDAY. NO WORK SHALL TAKE PLACE ON SUNDAYS OR PUBLIC HOLIDAYS.
6. ALL WORK IS TO BE SET OUT BY A COMPETENT SURVEYOR APPROVED BY COUNCIL
7. THE CONTRACTOR SHALL NOT DISTURB ANY SURVEY CONTROL MARKS. SHOULD ANY SURVEY CONTROL MARK BE DISTURBED OR OBLITERATED, THE CONTRACTOR SHALL NOTIFY THE SUPERINTENDENT IMMEDIATELY. THE CONTRACTOR SHALL HAVE THE MARKS REPLACED AT HIS EXPENSE.
8. ALL WORKS ARE TO BE CONDUCTED TO THE REQUIREMENTS OF THE SUBDIVISION MANAGER OR DELEGATE.
9. ALL GREEN WASTE IS TO BE MULCHED, STOCKPILED AND USED (WHERE POSSIBLE) ON SITE. ALL EXCESS MULCH IS TO BE REMOVED OFF SITE.
10. THE DEPTH OF PAVEMENT MATERIAL SHALL BE APPROVED BY SNOWY MONARO REGIONAL COUNCIL WITH REFERENCE TO THE ACT GEOTECHNICAL ENGINEER'S PTY LTD PAVEMENT DESIGN REPORT. THE TYPE OF PAVEMENT MATERIAL IS TO BE APPROVED BY SNOWY MONARO REGIONAL COUNCIL.
11. THE SURVEYOR IS TO BE NOTIFIED 1 WEEK PRIOR TO THE POURING OF KERB SO SSMs AND THEIR LOCATIONS CAN BE PROVIDED.
12. ALL DISTURBED AREAS INCLUDING BATTERS, TABLE DRAINS AND FOOTPATH AREAS ARE TO BE TOP SOILED, FERTILIZED AND SEEDED TO THE SATISFACTION OF COUNCIL'S SUBDIVISION MANAGER OR DELEGATE. THE TYPE OF SEED (NATIVE MIX) IS TO BE APPROVED BY THE SUPERINTENDENT.
13. IF ROCK IS ENCOUNTERED THE SUPERINTENDENT SHALL BE NOTIFIED IMMEDIATELY SO MEASUREMENTS OF VOLUMES CAN BE MADE. NO VARIATIONS FOR ROCK WILL BE CONSIDERED UNLESS THE SUPERINTENDENT HAS VERIFIED THE AMOUNTS PRIOR TO BACKFILLING.
14. ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH THE COOMA-MONARO SPECIFICATION FOR ENGINEERING WORKS CONSTRUCTION COUNCIL. AND TO THE REQUIREMENTS OF THE PRINCIPAL CERTIFYING AUTHORITY.
15. SEDIMENT AND EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED PRIOR TO CONSTRUCTION WORK COMMENCING AND MAINTAINED DURING THE CONSTRUCTION PHASE. SEDIMENT AND EROSION CONTROL MEASURES ARE TO INCORPORATE THOSE AS DETAILED ON THE SEDIMENT AND EROSION CONTROL PLAN. MEASURES SHOULD ALSO INCORPORATE THOSE AS SET OUT IN COUNCIL'S STANDARDS DURING THE INSTALLATION OF UTILITY SERVICES.
16. THE CONTRACTOR IS TO GAIN APPROVAL UNDER SECTION 138 OF THE ROADS ACT 1993 PRIOR TO COMMENCING CONSTRUCTION WITHIN ALL ROAD RESERVES.
17. TRAFFIC CONTROL MEASURES IN ACCORDANCE WITH AS 1742.3 ARE TO BE IN PLACE AND MAINTAINED AT ALL TIMES. TRAFFIC CONTROL PLAN IS TO BE SUBMITTED TO COUNCIL AND APPROVED PRIOR TO CONSTRUCTION WORK COMMENCING.
18. PRIOR TO COMMENCEMENT OF EXCAVATION THE CONTRACTOR SHALL DETERMINE THE LOCATION OF ALL SERVICES AND WILL BE RESPONSIBLE FOR ADJUSTMENT OF SERVICES AND REPAIR OF ANY DAMAGE TO COUNCIL'S INFRASTRUCTURE. SUCH REINSTATEMENT TO BE CARRIED OUT IMMEDIATELY TO THE SATISFACTION OF THE SUBDIVISION AND DEVELOPMENT MANAGER.

DRAINAGE NOTES

1. ALL STORMWATER WORKS TO BE CARRIED OUT IN ACCORDANCE WITH COOMA - MONARO SPECIFICATION FOR ENGINEERING WORKS - CONSTRUCTION, C220 - STORMWATER.
2. PIPES ARE TO BE LAID TO DESIGN LEVELS AND GRADES IN 10mm AGGREGATE BED (MIN 75mm DEEP). BACKFILL PIPES 100mm OVER TOP OF BARREL WITH 10mm AGGREGATE AND TO FINISHED SURFACE LEVEL WITH SELECTED BACKFILL.
3. PITS MORE THAN 1.0m DEEP TO HAVE STEP IRONS.
4. SUBSOIL DRAINAGE LINES ARE TO BE LAID AT A MINIMUM GRADE OF 1%.
5. STORMWATER PIPES TO BE uPVC SN8 MANUFACTURED TO AS1254, INSTALLED IN ACCORDANCE WITH AS2032.

WATER RETICULATION MAIN NOTES:

1. ALL WATER MAIN WORKS TO BE CARRIED OUT IN ACCORDANCE WITH COOMA - MONARO SPECIFICATION FOR ENGINEERING WORKS CONSTRUCTION, C401 - WATER RETICULATION.
2. PE PIPE SHALL COMPLY WITH AS/NZ 4130.
3. FITTINGS USED ON PE PIPE SHALL COMPLY WITH AS/NZ 4129.
4. THE PE COMPOUND SHALL BE PE80B OR PE100 AND SHALL COMPLY WITH AS/NZ 4131.
5. PE MAY BE COLD BENT TO A MINIMUM RADIUS OF 33xOD. STAKES OR OTHER SOURCES OF POINT LOADS SHALL NOT BE USED TO ASSIST IN BENDING THE PIPE.
6. ALLOWANCE SHALL BE MADE DURING CONSTRUCTION FOR EXPANSION AND CONTRACTION OF PE PIPE DUE TO TEMPERATURE CHANGES.
7. PE PIPE SHALL BE BLACK PIPE WITH BLUE STRIPES.
8. NOMINATED DIAMETER IS O.D. U.N.O.

SEWER NOTES

1. ALL SEWER WORKS TO BE CARRIED OUT IN ACCORDANCE WITH COOMA - MONARO SPECIFICATION FOR ENGINEERING WORKS CONSTRUCTION, C402 - SEWERAGE SYSTEM.
2. SEWER PIPE CLASS SN8, FLEXIBLE RUBBER RING (ELASTOMERIC) JOINTS, MANUFACTURED TO AS1260.

PAVEMENT NOTES

1. ALL SUBGRADE AND SUBBASE ARE TO BE COMPACTED TO A MINIMUM DENSITY OF 100% OF THE STANDARD MAXIMUM DRY DENSITY.
2. BASE COURSE MATERIALS ARE TO BE COMPACTED TO A MINIMUM DENSITY RATIO OF 98% OF THE MODIFIED MAXIMUM DRY DENSITY WITHIN -1.0% TO 3.0% OF STANDARD OPTIMAL MOISTURE CONTENT.
3. DESIGN SUBGRADE CBR VALUES AND ADOPTED TRAFFIC LOADING ARE NOTED WITH EACH INDIVIDUAL PAVEMENT TYPE. APPROPRIATE SUBGRADE TREATMENT SHOULD BE ASSESSED AFTER PRELIMINARY BOXING. A NON WOVEN GEOFABRIC LAYER SUCH AS BIDUM A34 SHOULD BE PLACED ON SUBGRADE TO ACT AS A SEPARATION LAYER WHERE WET AND DEFLECTING SUBGRADE CONDITIONS ARE ENCOUNTERED.
4. PAVEMENT SUBGRADE COMPACTION SHOULD MEET THE FOLLOWING MINIMUM SPECIFICATION WHICH IS AS FOLLOWS:

BASECOURSE

98% MDD

SUB-BASE

98% MOD

SUBGRADE

98% MDD.
5. WHERE EXISTING CBR VALUES OF LESS THAN 3% ARE ENCOUNTERED. SUBGRADES COULD BE CEMENTED OF LIME STABILISED TO A DEPTH OF 150mm, WITH DESIGN THEN BASED ON A VALUE OF 3%. ALTERNATIVELY, THE LOW STRENGTH SUBGRADES COULD BE TREATED BY EXCAVATION OF AT LEAST AN ADDITIONAL 300mm FOLLOWED BY REPLACEMENT WITH SUITABLE GRANULAR MATERIAL, THUS SATISFYING THE REQUIREMENTS OF A CBR 3% SUBGRADE.

EARTHWORKS NOTES

1. SET OUT OF WORKS ON SITE ARE TO APPROVED BY THE PRINCIPAL'S REPRESENTATIVE PRIOR TO CONSTRUCTION WORKS.
2. ALL TOPSOIL UNDER THE DESIGN FOOTPRINT IS TO BE STRIPPED TO A MAXIMUM DEPTH OF 300MM AND IS TO BE STOCKPILED FOR FUTURE USE.
3. ALL UNSUITABLE IN-SITU FOUNDATION MATERIAL IS TO BE STRIPPED AND STOCKPILED SEPARATELY PRIOR TO CONSTRUCTION.
4. ALL IMPORT FILL TO BE PLACED AND SPREAD IN 300MM LOOSE LAYERS, MOISTURE CONDITIONED TO OMC ± 2% AND COMPACTED TO 95% MMDD BEFORE THE END OF EACH WORKING DAY.
5. ALL EARTHWORKS OPERATIONS ARE TO BE SUPERVISED AND CERTIFIED BY A QUALIFIED GEOTECHNICAL ENGINEER AND UNDERTAKEN UNDER LEVEL 1 SUPERVISION.
6. FREQUENCY OF COMPACTION TESTING SHALL BE IN ACCORDANCE WITH AS 3798 AND COOMA - MONARO SPECIFICATION FOR ENGINEERING WORKS - CONSTRUCTION, C213 - EARTHWORKS.
7. COMPACTED AREAS ARE TO BE EITHER COVERED OR TREATED WITH A SUITABLE POLYMER OR ALTERNATIVE METHOD TO PREVENT WATER EROSION OR DUST BLOW BEFORE THE END OF EACH WORKING DAY. THE PREFERRED OPTION IS TO BE APPROVED BY THE PRINCIPAL'S REPRESENTATIVE.
8. LANDSCAPED AREAS ARE TO BE COMPACTED TO 90% MMDD.

RETAINING WALL NOTES

1. ALL RETAINING WALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH COOMA-MONARO SPECIFICATION FOR ENGINEERING WORKS - CONSTRUCTION, C271-MINOR CONCRETE WORKS.

TRAFFIC AND PEDESTRIAN MANAGEMENT

1. THE CONTRACTOR SHALL PROVIDE SAFE AND UNRESTRICTED ACCESS THROUGHOUT THE CONSTRUCTION PERIOD FOR PEDESTRIANS,CYCLISTS AND VEHICLES.
2. THE CONTRACTOR SHALL ENSURE TRAFFIC AND PEDESTRIANS ARE PROTECTED FROM CONSTRUCTION VEHICLES, DUST, WATER AND OTHER NUISANCE BY MEANS OF TEMPORARY SCREENS, BARRIERS, SIGNAGE AND FENCING.
3. THE CONTRACTOR SHALL PREPARE AND GAIN APPROVAL FOR A TEMPORARY TRAFFIC MANAGEMENT PLAN, FOLLOWING ENDORSEMENT FROM COOMA - MONARO SPECIFICATION FOR ENGINEERING WORKS CONSTRUCTION C201 - CONTROL OF TRAFFIC.

VERGE MANAGEMENT

1. THERE SHALL BE NO PARKING, SITE SHEDS, SITE AMENITIES, BILLBOARDS OR STORAGE OF MATERIALS ON THE VERGE, OVERLAND FLOW PATHS OR OPEN SPACE UNDER ANY CIRCUMSTANCES. PROTECT ALL GRASSLAND, TREES AND SHRUBS OUTSIDE THE WORKS AREA FROM DAMAGE.
2. ANY WORKS THAT ALTER OR DISTURB GRASSED FLOODWAYS, VERGE AREAS, MEDIANS OR OTHER OPEN AREAS MUST BE REINSTATED TO EXISTING CONDITION BY THE PERSON(S) RESPONSIBLE FOR THE DISTURBANCE IN ACCORDANCE WITH THE CANBERRA LANDSCAPE GUIDELINES.
3. FENCING TO PROTECT EXISTING VERGE (REFER LEGEND)

a. FENCING TO BE ERECTED ON COMMENCEMENT OF SITE WORK AND REMOVED AT COMPLETION OF COMMENCEMENT OF VERGE RESTORATION.

b. THE FENCE IS TO REMAIN CONTINUOUS THROUGHOUT THE PROJECT, EXCEPT WHERE SERVICE TRENCHING OCCURS.

c. REALIGN FENCE TO PROVIDE LANE FOR SERVICE TRENCHING BUT RE-ERECT FENCE TO ENCLOSE TREES BEFORE TRENCHING COMMENCES AND ON COMPLETION OF TRENCHING RETURN TO ORIGINAL FENCE ALIGNMENT.

d. NO ACTIVITY SHALL BE CARRIED OUT WITHIN 2m OF A TREE TO BE RETAINED.
4. VERGE RESTORATION IS TO BE OVERSEEN BY A LANDSCAPE ARCHITECT.

ANY WORKS THAT ALTER OR DISTURB GRASSED VERGE AREAS, MEDIANS OR OTHER OPEN AREAS MUST BE REINSTATED TO EXISTING CONDITION BY THE PERSON(S) RESPONSIBLE FOR THE DISTURBANCE TO THE SATISFACTION OF THE SUPERINTENDENT.

5. EXISTING TREES:

a. ALL TREES ARE TO BE RETAINED AND KEPT UNDAMAGED UNLESS SHOWN OTHERWISE.

b. EXISTING CROWN CLEARANCE NOT TO BE ALTERED.

c. ENSURE CONSTRUCTION EQUIPMENT CAN PASS BENEATH LOWEST LIMB, THROUGH DRIVEWAY ACCESS.

d. CROWNS AND APEX OF CANOPY NOT TO BE ALTERED OR REDUCED.

e. ENSURE LIFTING EQUIPMENT AND LOAD CAN CLEAR HEIGHT AND WIDTH OF TREE CROWN WITHOUT DAMAGE TO THE CROWN.

f. ANY SERVICE CONNECTIONS WITHIN 2m OF AN EXISTING TREE CANOPY TO BE APPROVED BY SUPERINTENDENT.

g. EXCAVATION THAT OCCURS WITHIN THE DRIP ZONE OF A TREE MUST BE APPROVED AND IS TO BE RESTRICTED TO ONE SIDE OF THE TREE ONLY.

h. WHERE EXCAVATION IS APPROVED THE FOLLOWING MEASURES ARE TO BE ADOPTED FOR TREE PROTECTION:

• DO NOT SEVER LARGE ROOTS (>50mm DIA.) CLOSER THAN HALFWAY FROM THE DRIPLINE TO THE TRUNK.

• ALL ROOTS MUST BE CUT CLEANLY WITH EQUIPMENT SPECIFICALLY DESIGNED TO CUT ROOTS OR OTHER PRUNING EQUIPMENT.

• ROOTS EXPOSED DURING EXCAVATION MUST BE PROTECTED FROM DESICCATION. KEEP LIGHTLY WATERED OR COVER WITH HESSIAN WHICH MUST BE KEPT MOIST.

• WATER TREES WHICH HAVE HAD DISTURBANCE IN THEIR ROOT ZONE. THE AMOUNT AND FREQUENCY OF WATER NEEDS TO BE ADAPTED TO THE TREES' REQUIREMENT, BASED ON SEASONAL CONDITIONS.

DETAIL OF INVERT LEVELS
SUMPS AND SW MANHOLES

NOT TO SCALE

EXISTING SERVICES

1. EXISTING SERVICES HAVE BEEN DIGITISED FROM SUPPLIED DATA. NO GUARANTEE IS GIVEN FOR THE ACCURACY OF THE DETAIL. IT IS THE CONTRACTORS RESPONSIBILITY TO ESTABLISH THE EXACT ALIGNMENT OF ALL EXISTING SERVICES WITHIN THE LIMIT OF WORKS PRIOR TO THE COMMENCEMENT OF WORKS.
2. THE CONTRACTOR WILL CONTACT, FOR EACH SERVICE AUTHORITY, THE OFFICER-IN-CHARGE OF THE AREA IN WHICH THE SITE IS LOCATED BEFORE COMMENCING WORK ON THE SITE.
3. THE CONTRACTOR WILL INSPECT THE LOCATION OF ALL EXISTING SERVICES AND NOTIFY THE SUPERINTENDENT OF ANY OMISSIONS FROM THE DRAWINGS.
4. THE CONTRACTOR WILL IMMEDIATELY NOTIFY THE SUPERINTENDENT AND THE OFFICER-IN-CHARGE OF THE AREA IN THE EVENT OF DAMAGE TO ANY WATER, GAS, STEAM, COMPRESSED AIR, ELECTRIC, DRAINAGE, SEWERAGE, TELECOMMUNICATIONS, FIRE ALARM, CONTROL CABLE OR OTHER SERVICES IN THE AREA.
5. ALL EXISTING SERVICES WHICH NEW SERVICES, PATHS, ROAD OR OTHER PARTS OF THE NEW WORKS ARE TO PASS UNDER, OVER, IN THE VICINITY OF OR CONNECT TO, ARE TO BE POTHOLED BY THE CONTRACTOR AT THE COMMENCEMENT OF WORKS IN ORDER TO DETERMINE IF THE NEW WORKS CAN BE CONSTRUCTED AS DESIGNED. THE COST OF POTHOLING IS TO BE ALLOWED FOR IN THE RATES GENERALLY, (HOLD POINT).
6. DAMAGES OR CONSEQUENTIAL DAMAGES AND DELAY DUE TO FAILURE TO ESTABLISH THE ALIGNMENT OF ALL EXISTING SERVICES ARE THE CONTRACTOR'S RESPONSIBILITY. NO PAYMENT WILL BE MADE FOR ADDITIONAL WORKS OR DAMAGES WHERE THE CONTRACTOR HAS NOT COMPLIED WITH THIS REQUIREMENT.

F	17/04/2023	FINAL DRAWINGS FOR Part 5 APPLICATION	TM	FL	JS	
E	20/10/2022	DRAFT FOR REVIEW	TM	FL	JS	
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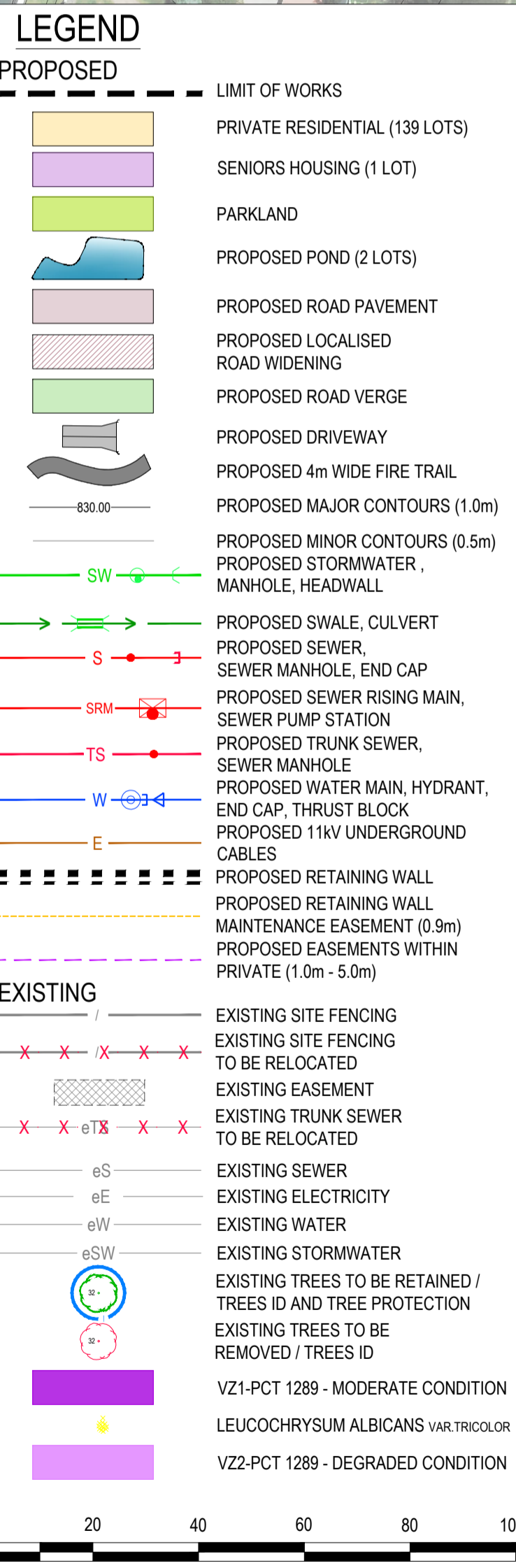


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Drawn	AA	Date	20/10/2022
Checked	JS	Date	20/10/2022
Designed	TM	Date	20/10/2022
Verified	FL	Date	20/10/2022
Approved	JS	Date	20/10/2022

Client	NSW Department of Planning and Environment			
Project	POLO FLAT ROAD RESIDENTIAL DEVELOPMENT PRECINCT 2, LOT 2 & 4 DP 1285072			
Title	GENERAL NOTES AND LEGEND			
Status	FOR APPROVAL NOT TO BE USED FOR CONSTRUCTION PURPOSES			
Date	20/10/2022	Datum	AHD	Scale
			NTS	Size
				A1
Drawing Number	50522046-C-2002			Revision
				F



NSW
GOVERNMENT

Planning &
Environment

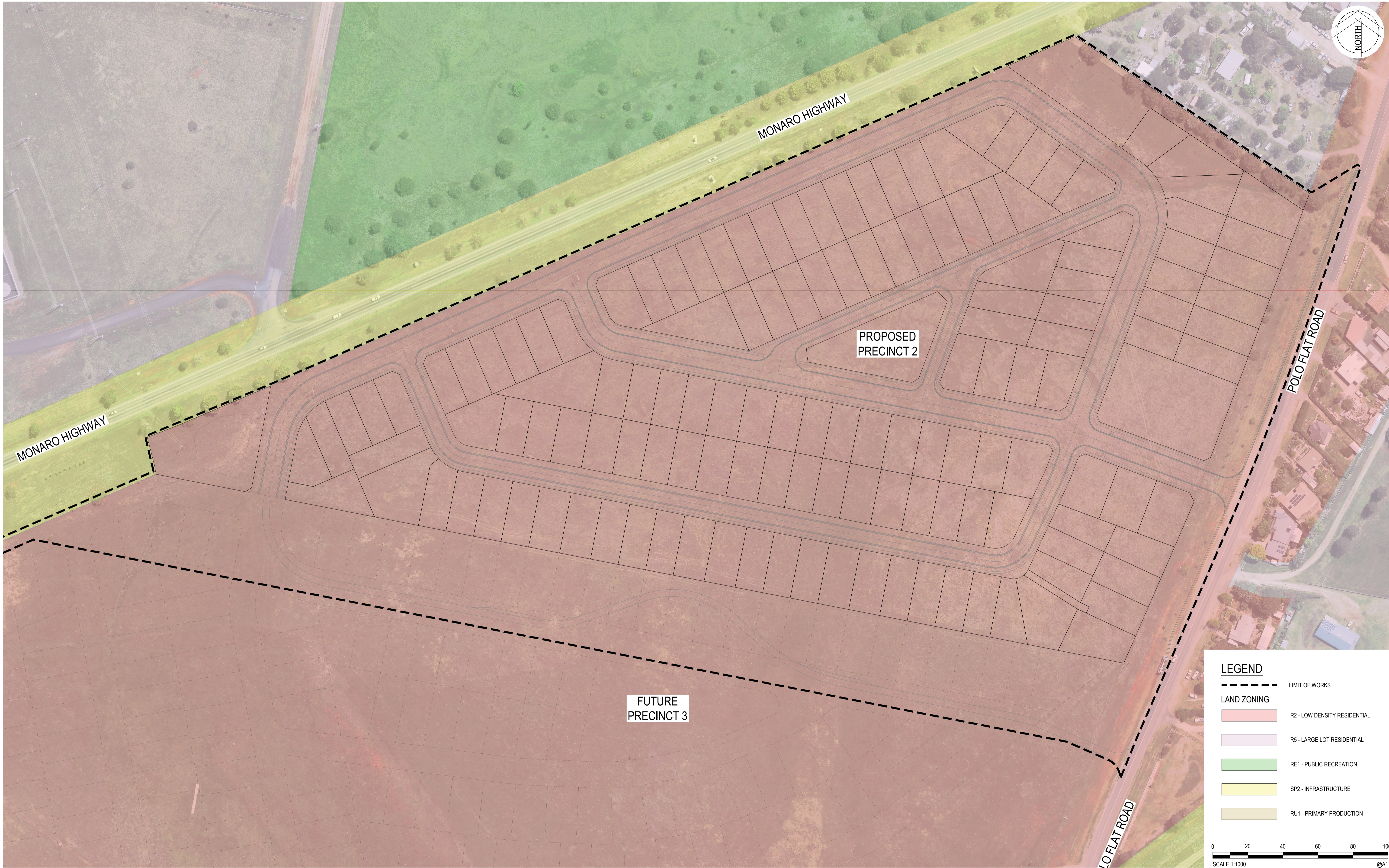
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Drawn AA	Date 20/10/2022
Checked JS	Date 20/10/2022
Designed TM	Date 20/10/2022
Verified FL	Date 20/10/2022
Approved	
JS	20/10/2022

Client	NSW Department of Planning and Environment		
Project	POLO FLAT ROAD RESIDENTIAL DEVELOPMENT PRECINCT 2, LOT 2 & 4 DP 1285072		
Title	GENERAL ARRANGEMENT PLAN		

Status				<div style="text-align: center; color: red; font-weight: bold; font-size: 1.2em;">FOR APPROVAL</div>	
NOT TO BE USED FOR CONSTRUCTION PURPOSES					
Date	Datum	Scale	Size		
20/10/2022	AHD	1:1000	A1		
Drawing Number				Revision	
50522046-C-2005				F	



LEGEND

LAND ZONING

R2 - LOW DENSITY RESIDENTIAL

R5 - LARGE LOT RESIDENTIAL

RE1 - PUBLIC RECREATION

SP2 - INFRASTRUCTURE

RU1 - PRIMARY PRODUCTION

LIMIT OF WORKS

0

20

40

60

80

100m

SCALE 1:1000 @A1

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Rev.	Date	Description	Des.	Verif.	Appd.



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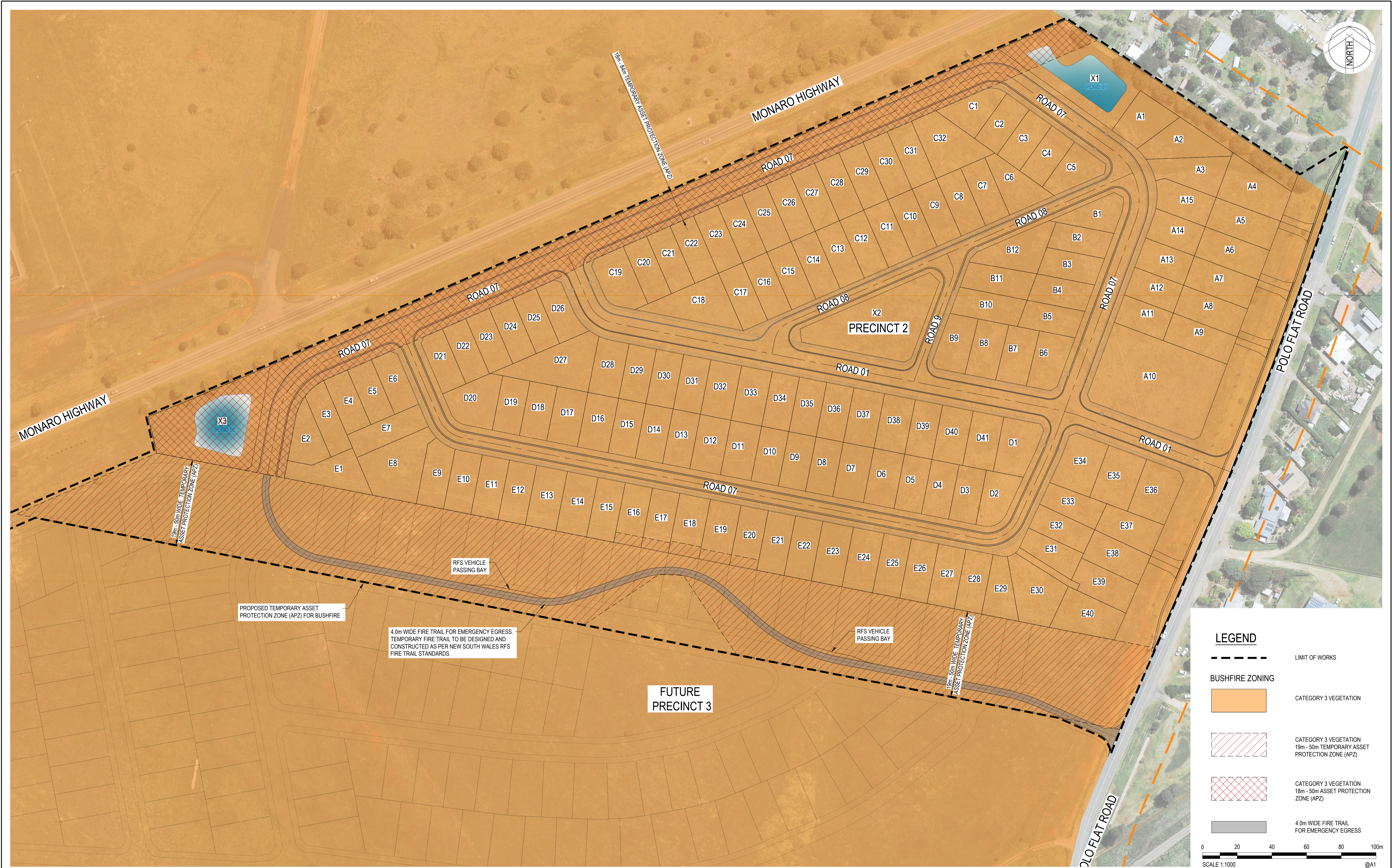
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now

Drawn AA 20/10/2022	Date 20/10/2022	Client NSW Department of Planning and Environment
Checked JS 20/10/2022	Date 20/10/2022	Project POLO FLAT ROAD RESIDENTIAL DEVELOPMENT PRECINCT 2, LOT 2 & 4 DP 1285072
Designed TM 20/10/2022	Date 20/10/2022	Title EXISTING ZONING PLAN
Verified FL 20/10/2022	Date 20/10/2022	Status FOR APPROVAL NOT TO BE USED FOR CONSTRUCTION PURPOSES
Approved JS 20/10/2022	Date 20/10/2022	Datum AHD
		Scale 1:1000
		Size A1
		Drawing Number 50522046-C-2010
		Revision F

XREFs: 50522046 A1Title: 50522046 Masterplan; X SURV. YALLAKOOL RD; X LZM. YALLAKOOL RD; X BFPZ CAT 3 YALLAKOOL RD; X ROAD NAME TEXT: 50522046 Lot Areas - REVISION 2; X ROAD PATH LAYT - REVISION 2; 50522046-C-2011 Bush Fire Acc Plan.dwg
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DATE PLOTTED: 4 May 2023 3:15 PM BY: DAVID PIGRAM



LEGEND

LIMIT OF WORKS

BUSHFIRE ZONING

CATEGORY 3 VEGETATION

CATEGORY 3 VEGETATION
19m - 50m TEMPORARY ASSET
PROTECTION ZONE (APZ)

CATEGORY 3 VEGETATION
18m - 50m ASSET PROTECTION
ZONE (APZ)

4.0m WIDE FIRE TRAIL
FOR EMERGENCY EGRESS

0

20

40

60

80

100m

SCALE 1:1000

@A1

F	17/04/2023	FINAL DRAWINGS FOR Part 5 APPLICATION	TM	FL	JS
E	20/10/2022	DRAFT FOR REVIEW	TM	FL	JS
D	05/10/2022	DRAFT FOR REVIEW	TM	FL	JS
C	28/09/2022	DRAFT FOR REVIEW	TM	FL	JS
B	23/09/2022	DRAFT FOR REVIEW	TM	FL	JS
A	09/09/2022	DRAFT FOR REVIEW	TM	FL	JS
Rev.	Date	Description	Des.	Verif.	Appd.



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Drawn	AA	Date	20/10/2022
Checked	JS	Date	20/10/2022
Designed	TM	Date	20/10/2022
Verified	FL	Date	20/10/2022
Approved	JS	Date	20/10/2022

Client

NSW Department of Planning and Environment

Project

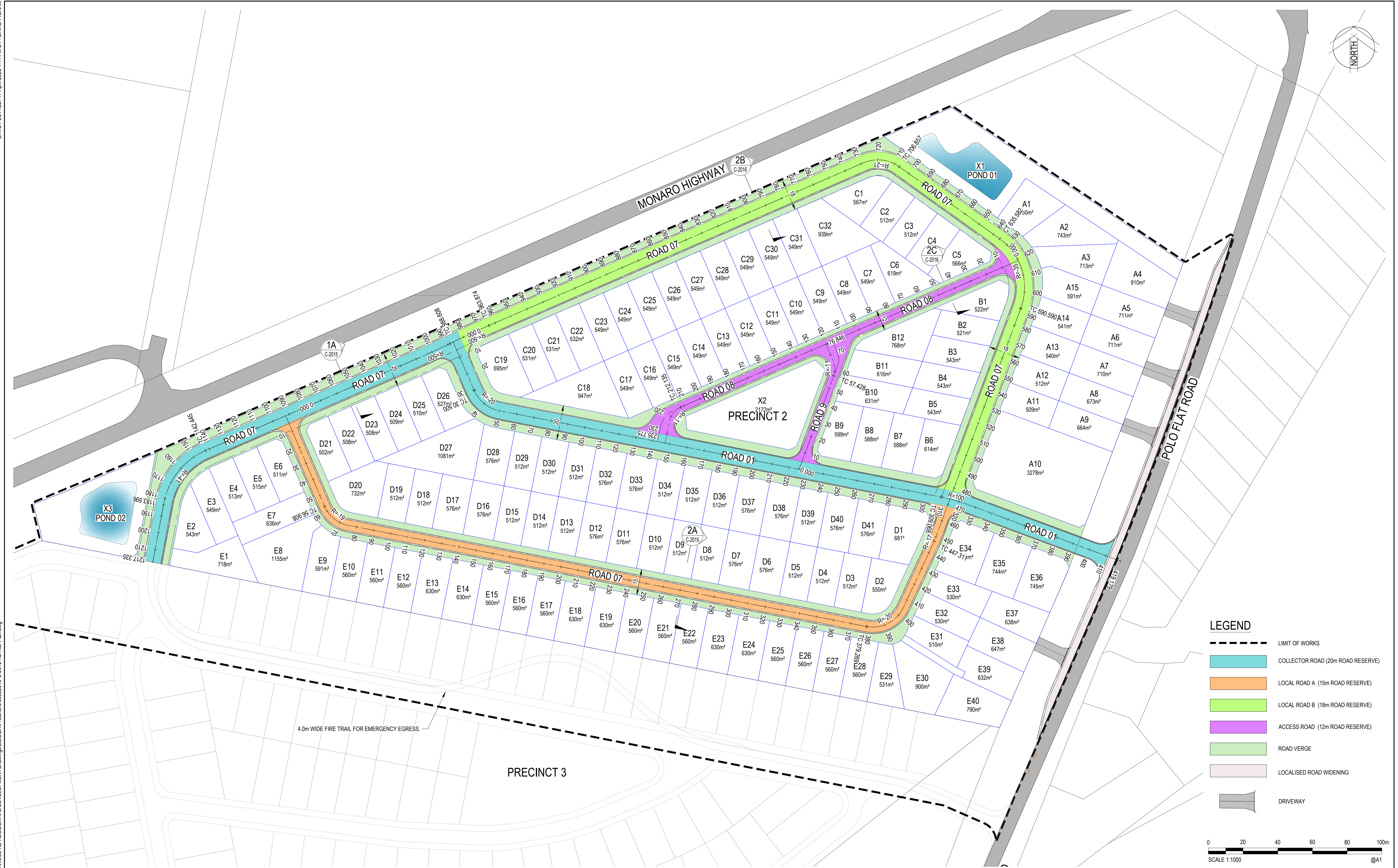
POLO FLAT ROAD
RESIDENTIAL DEVELOPMENT
PRECINCT 2, LOT 2 & 4 DP 1285072

Title

BUSHFIRE ASSET PROTECTION PLAN

Status					FOR APPROVAL				
NOT TO BE USED FOR CONSTRUCTION PURPOSES									
Date			Datum			Scale		Size	
20/10/2022			AHD			1:1000		A1	
Drawing Number								Revision	
50522046-C-2011								F	

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DATE PLOTTED: 17 April 2023 14:1 PM BY: DAVID PIGRAM



Rev.	Date	Description	Des.	Verif.	Appd.
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D	05/10/2022	DRAFT FOR REVIEW	TM	FL	JS
C	28/09/2022	DRAFT FOR REVIEW	TM	FL	JS
B	23/09/2022	DRAFT FOR REVIEW	TM	FL	JS
A	09/09/2022	DRAFT FOR REVIEW	TM	FL	JS



Planning & Environment

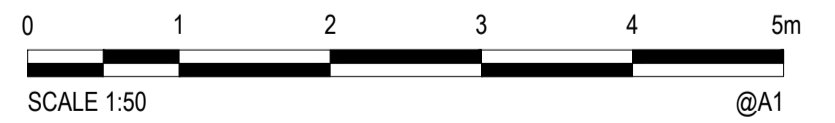
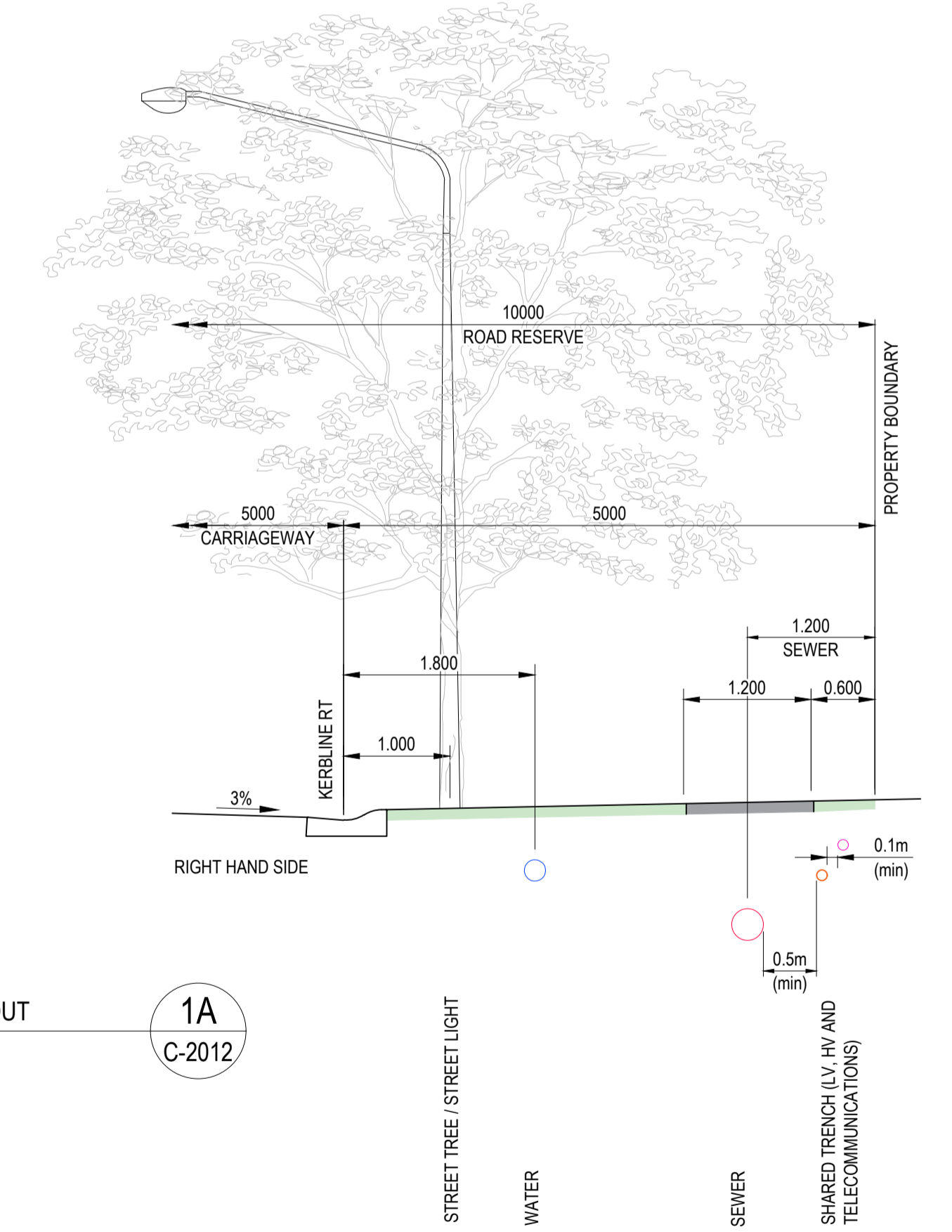
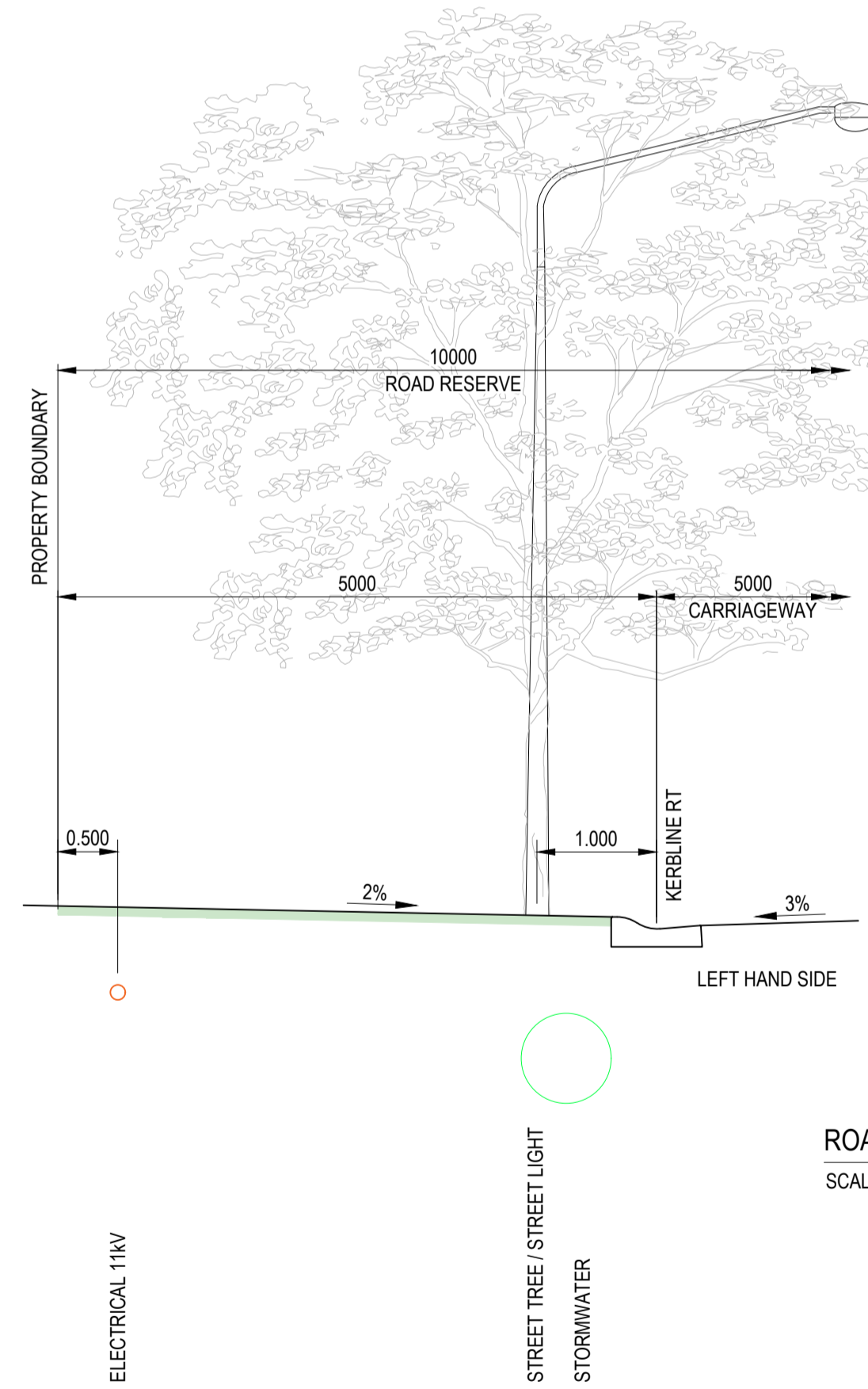
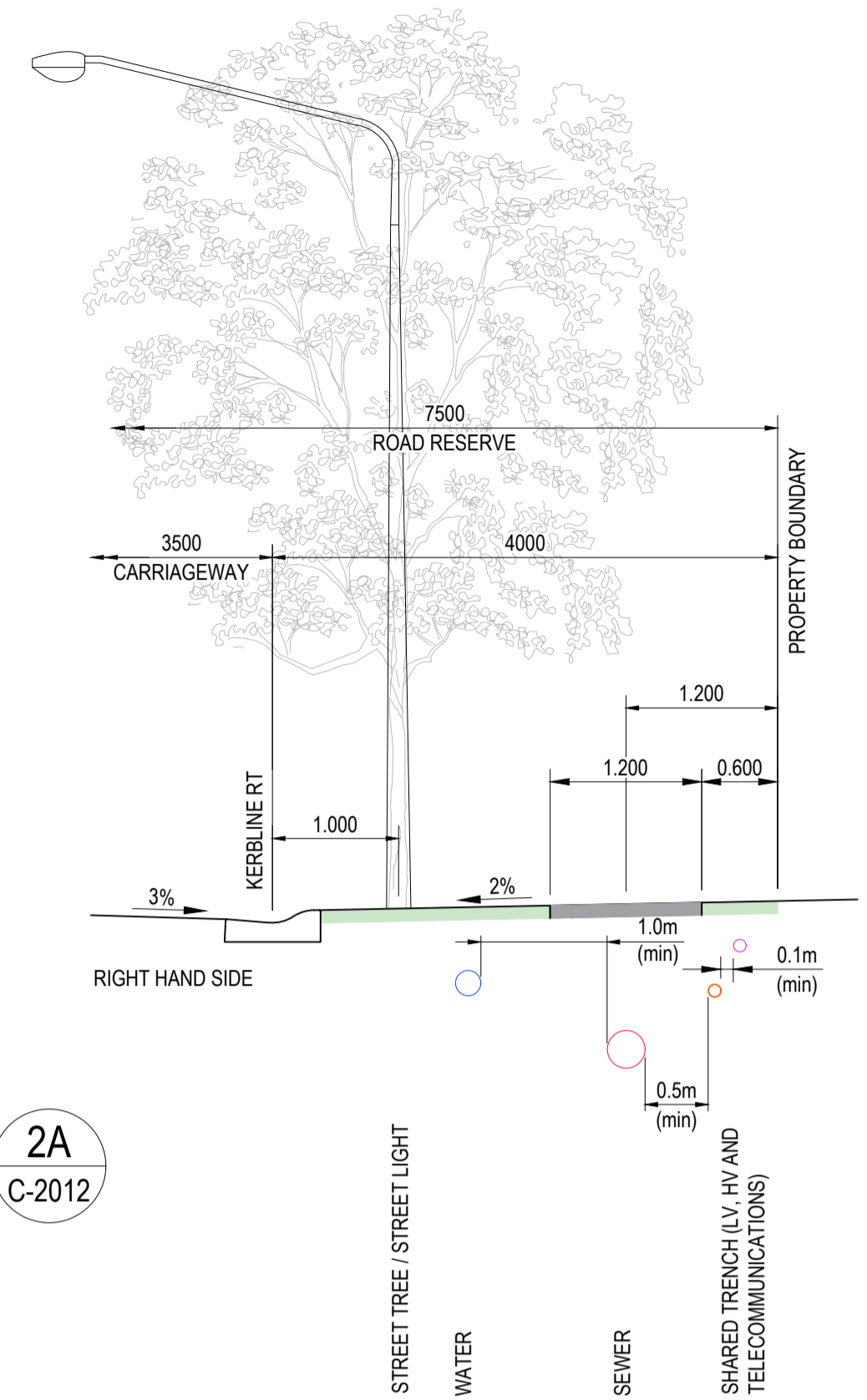
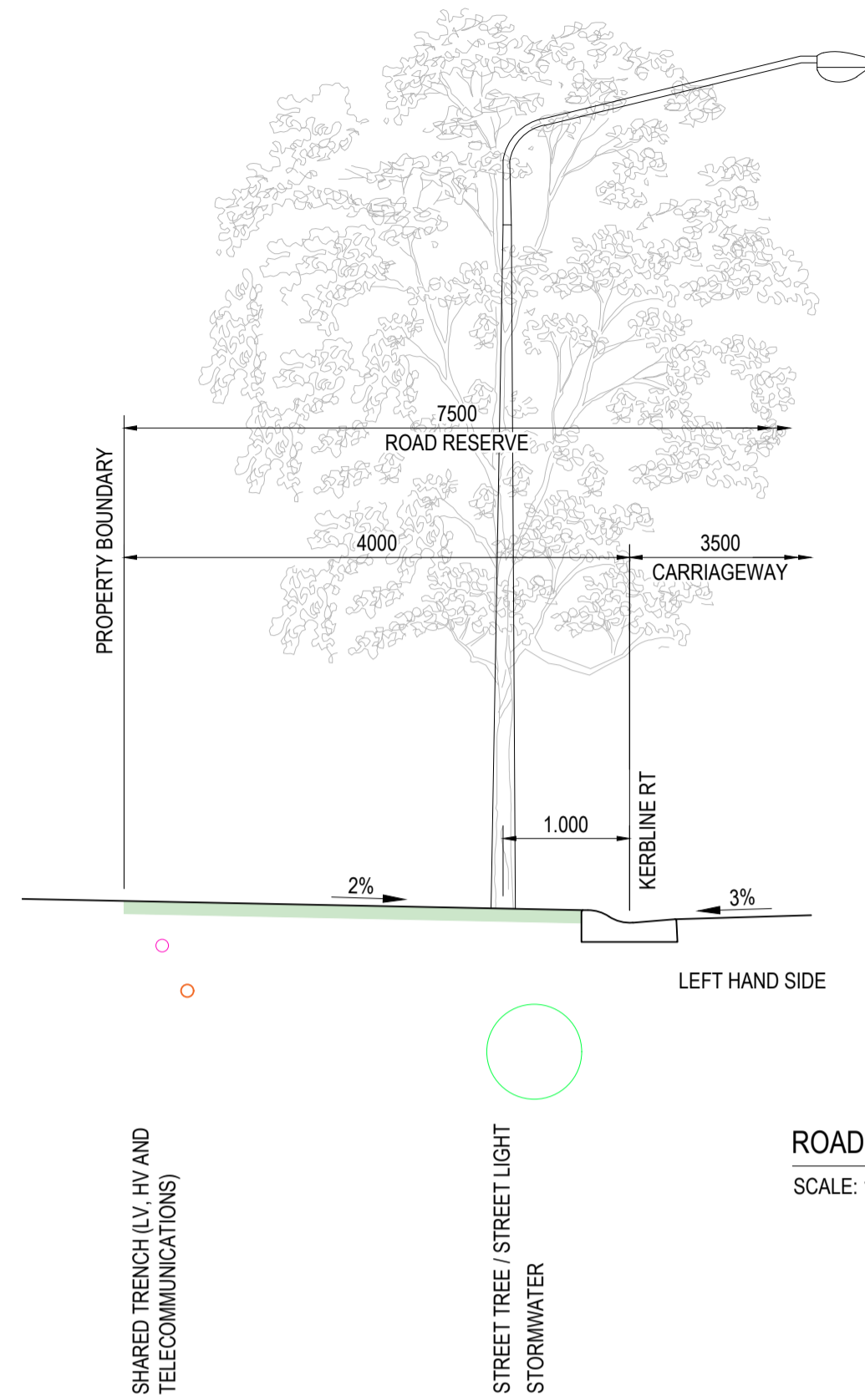
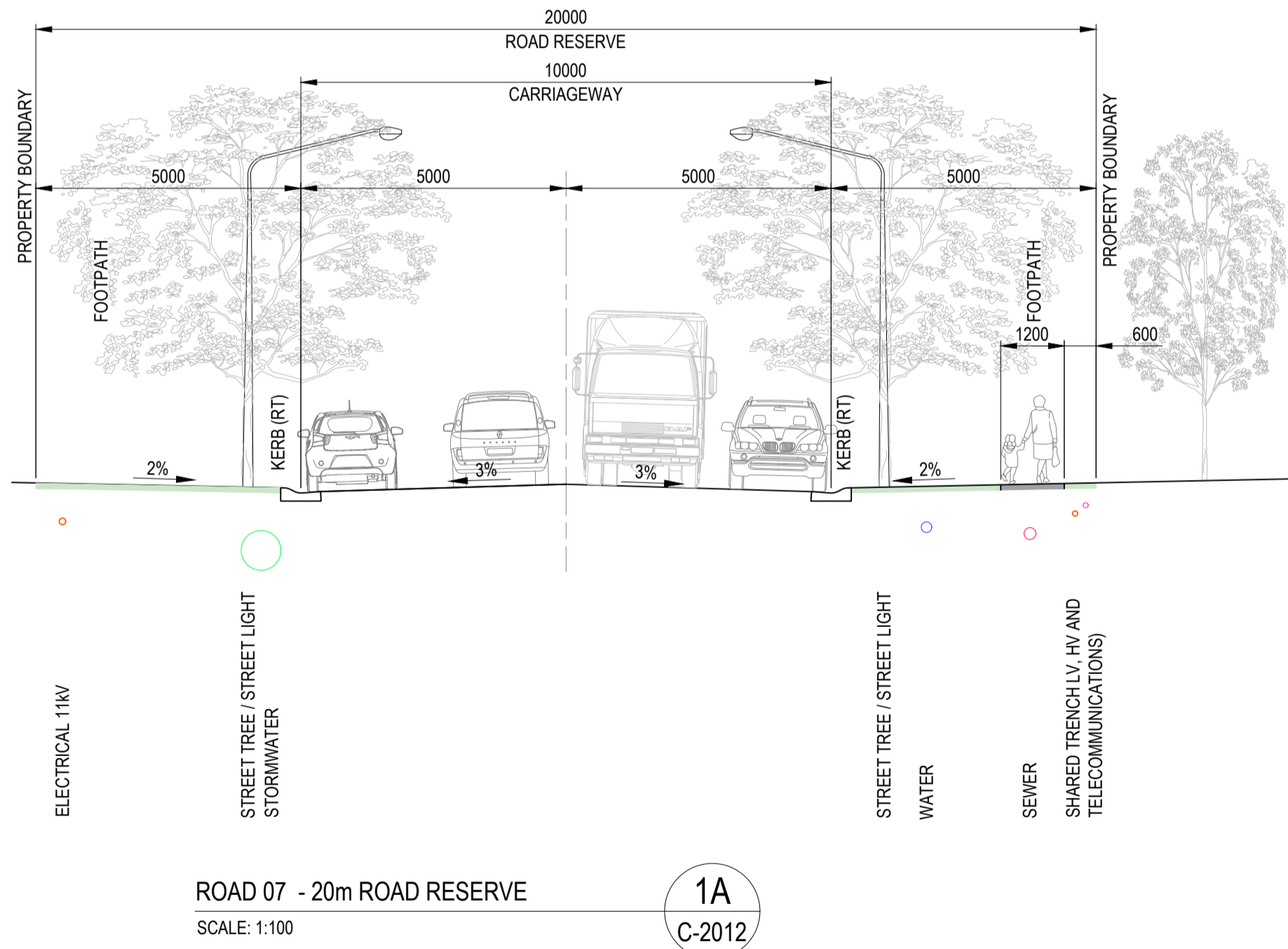
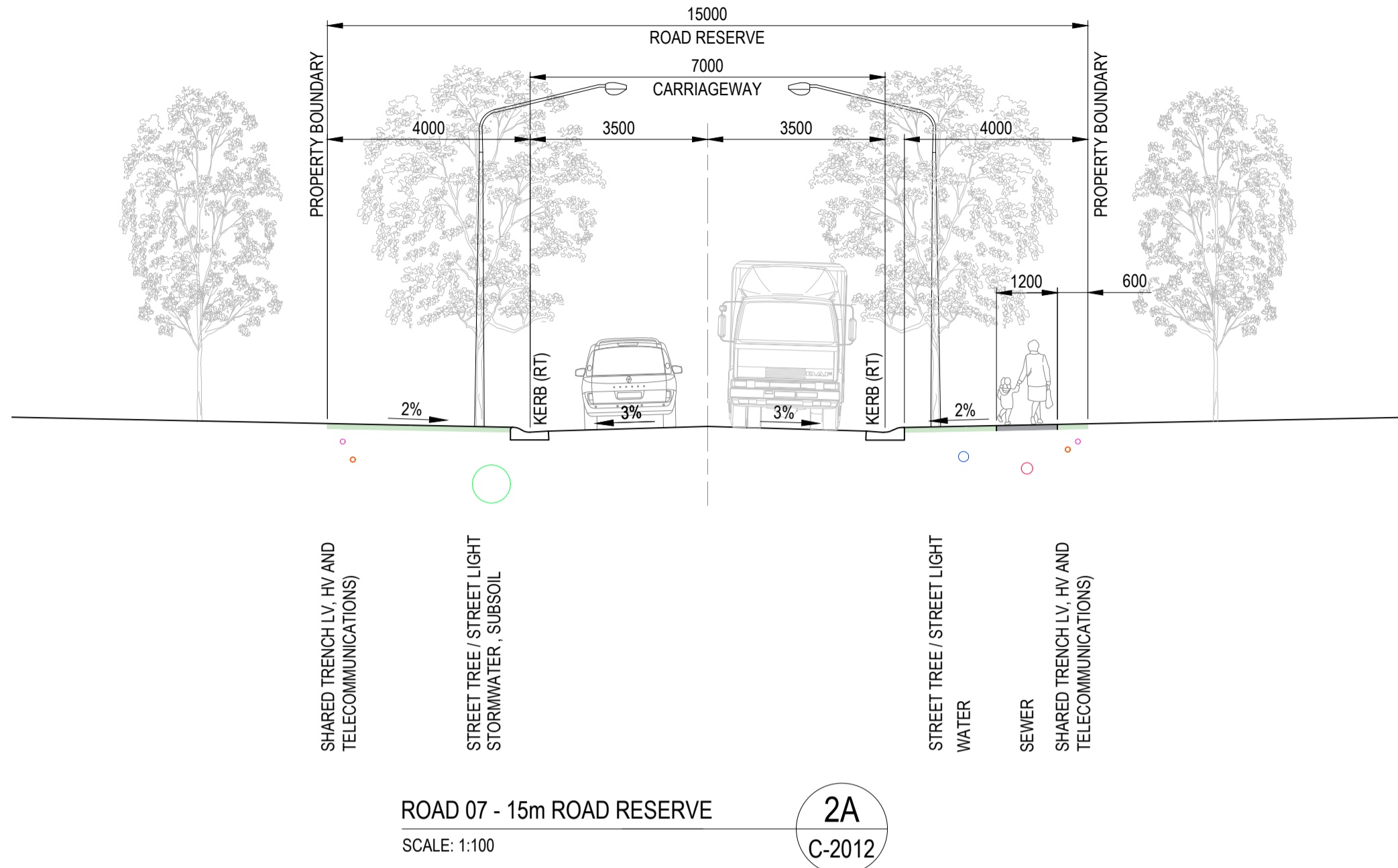
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Drawn	AA	Date	20/10/2022
Checked	JS	Date	20/10/2022
Designed	TM	Date	20/10/2022
Verified	FL	Date	20/10/2022
Approved	JS	Date	20/10/2022

Client	NSW Department of Planning and Environment
Project	POLO FLAT ROAD RESIDENTIAL DEVELOPMENT PRECINCT 2, LOT 2 & 4 DP 1285072
Title	ROAD HIERARCHY PLAN

Status	FOR APPROVAL
Date	20/10/2022
Datum	AHD
Scale	1:1000
Size	A1
Drawing Number	50522046-C-2012
Revision	F



Rev.	Date	Description	Des.	Verif.	Appd.
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E	20/10/2022	DRAFT FOR REVIEW	TM	FL	JS
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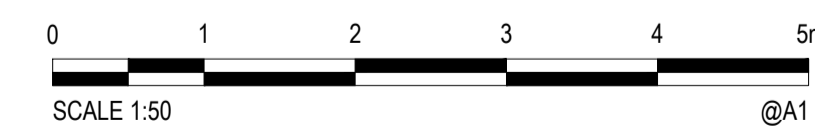
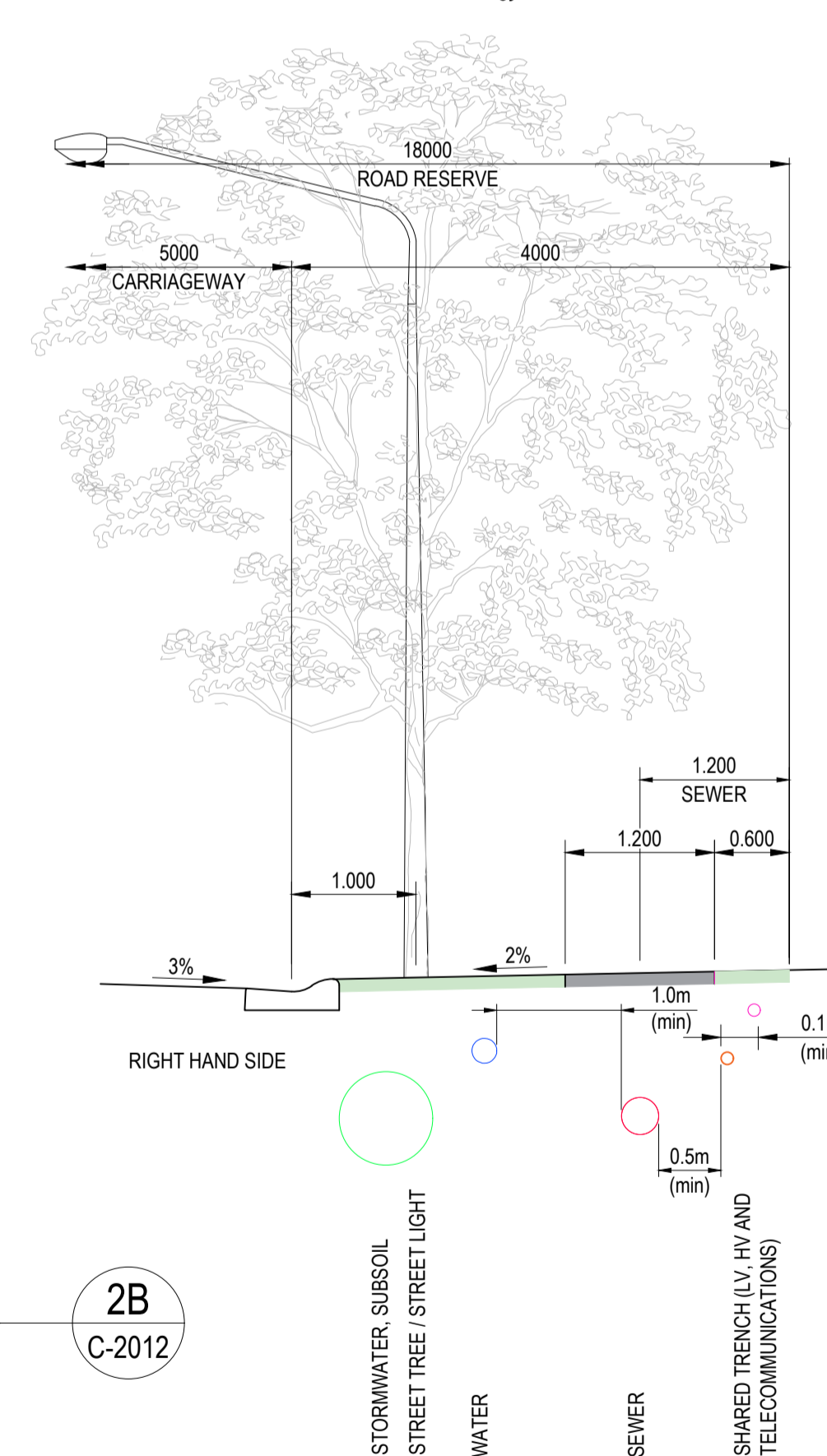


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Drawn AA 20/10/2022	Date 20/10/2022	Client NSW Department of Planning and Environment
Checked JS 20/10/2022	Date 20/10/2022	Project POLO FLAT ROAD RESIDENTIAL DEVELOPMENT PRECINCT 2, LOT 2 & 4 DP 1285072
Designed TM 20/10/2022	Date 20/10/2022	Title TYPICAL ROAD CROSS SECTIONS SHEET 1 OF 2
Verified FL 20/10/2022	Date 20/10/2022	Status FOR APPROVAL NOT TO BE USED FOR CONSTRUCTION PURPOSES
Approved JS 20/10/2022	Date 20/10/2022	Drawing Number 50522046-C-2015
		Revision F



F	17/04/2023	FINAL DRAWINGS FOR Part 5 APPLICATION				
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D	05/10/2022	DRAFT FOR REVIEW	TM	FL	JS	
C	28/09/2022	DRAFT FOR REVIEW	TM	FL	JS	
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Rev.	Date	Description	Des.	Verif.	Appd.	

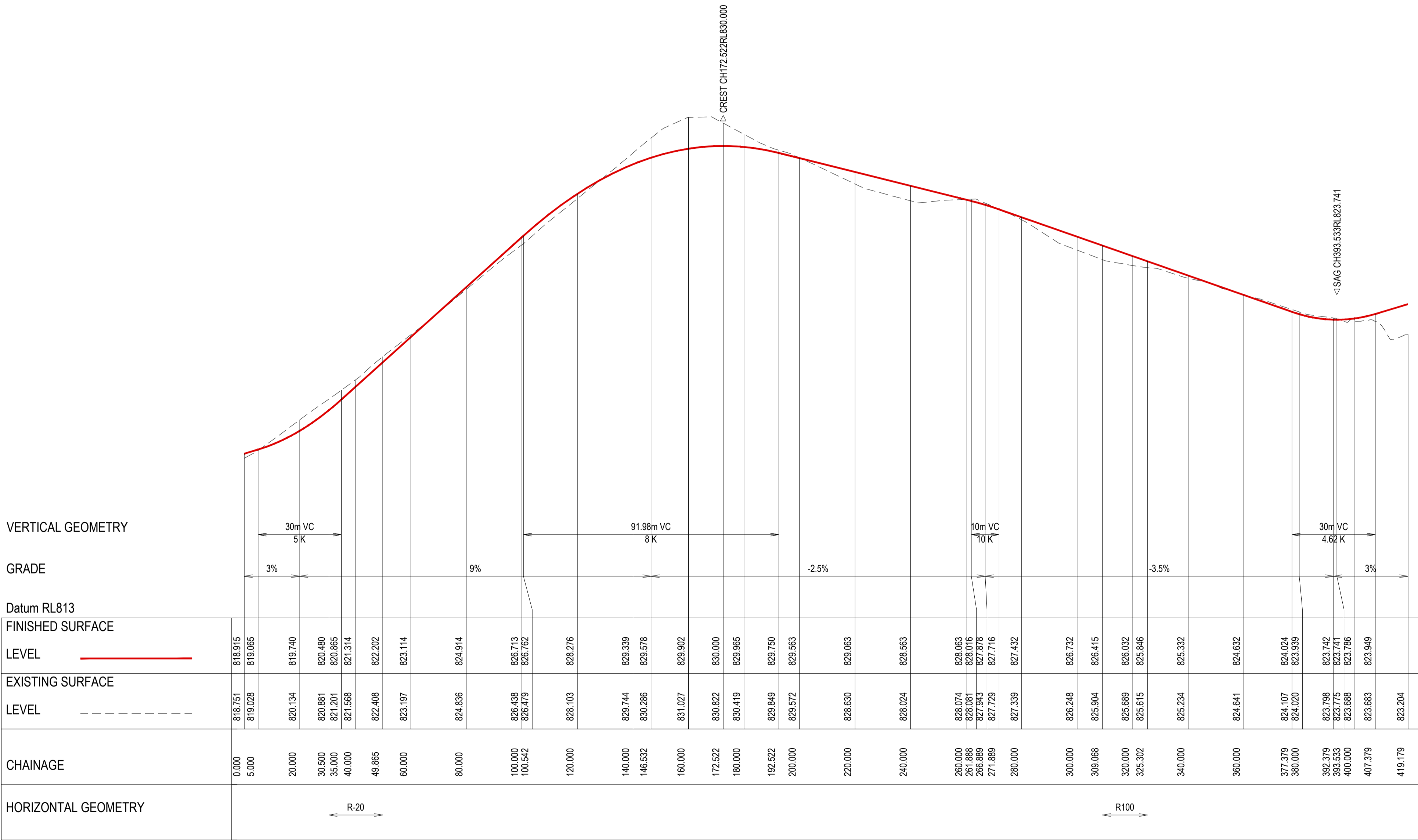


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Drawn AA	Date 20/10/2022	Client NSW Department of Planning and Environment								
Checked JS	Date 20/10/2022	Project POLO FLAT ROAD RESIDENTIAL DEVELOPMENT PRECINCT 2, LOT 2 & 4 DP 1285072								
Designed TM	Date 20/10/2022	Status <div>FOR APPROVAL</div> <div>NOT TO BE USED FOR CONSTRUCTION PURPOSES</div>								
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Date 20/10/2022	Datum AHD	Scale AS SHOWN	Size A1							
Drawing Number 50522046-C-2016			Revision F							
Approved		Title TYPICAL ROAD CROSS SECTIONS SHEET 2 OF 2								
JS	20/10/2022									

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CAD File: N:\Projects\50522046\Drawings\Build\DA\Precinct 2\50522046-C-2020-RL.LS.dwg
DATE PLOTTED: 17 April 2023 10:11 AM BY: DAVID PIGRAM



LONGITUDINAL SECTION ROAD 01

SCALE 1:1000 HORI.
SCALE 1:100 VERT.

F	17/04/2023	FINAL DRAWINGS FOR Part 5 APPLICATION	TM	FL	JS
E	20/10/2022	DRAFT FOR REVIEW	TM	FL	JS
D	05/10/2022	DRAFT FOR REVIEW	TM	FL	JS
C	28/09/2022	DRAFT FOR REVIEW	TM	FL	JS
B	23/09/2022	DRAFT FOR REVIEW	TM	FL	JS
A	09/09/2022	DRAFT FOR REVIEW	TM	FL	JS
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Drawn	AA	Date	20/10/2022
Checked	JS	Date	20/10/2022
Designed	TM	Date	20/10/2022
Verified	FL	Date	20/10/2022
Approved	JS	Date	20/10/2022

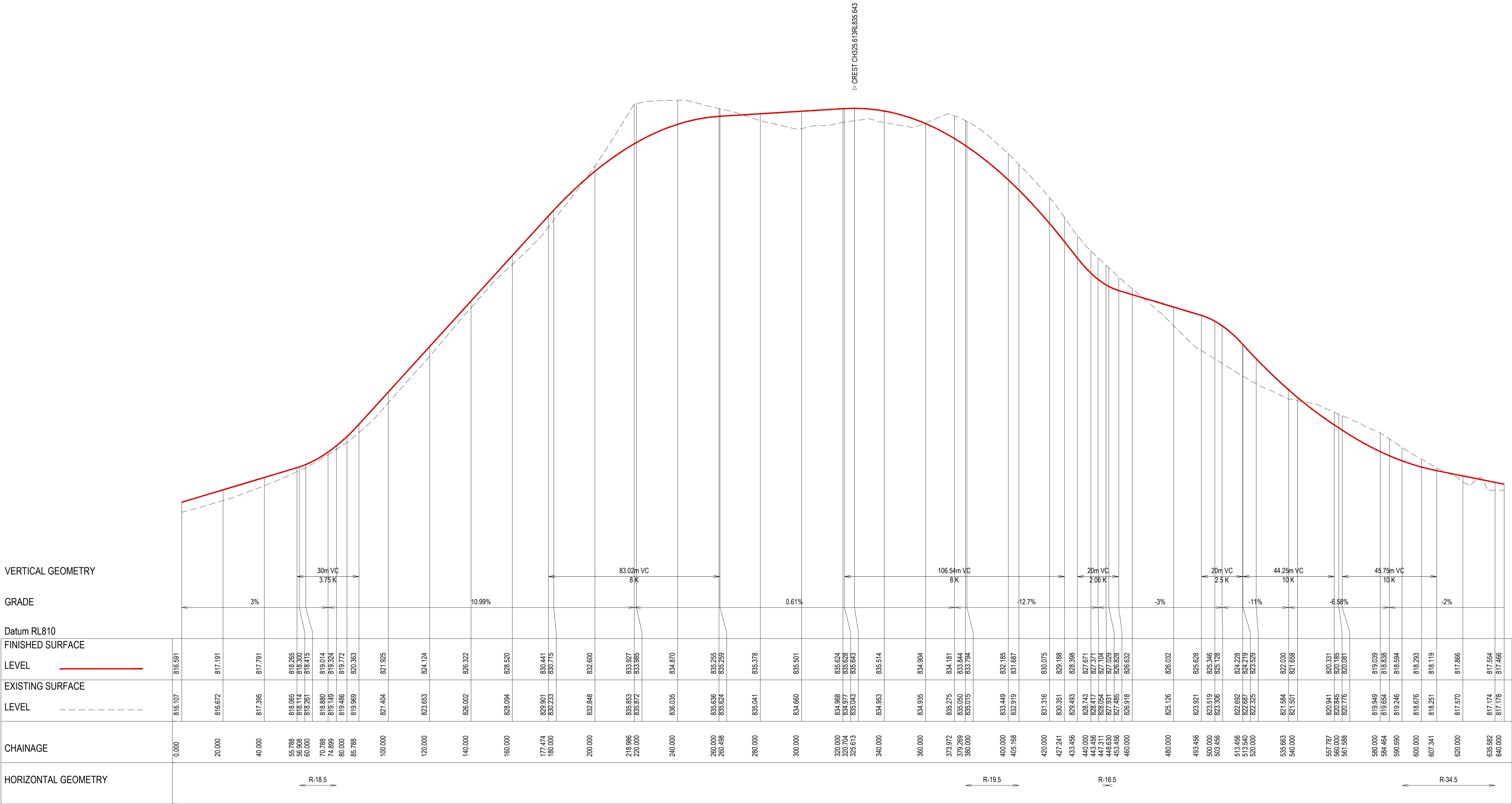
Client NSW Department of Planning and Environment

Project POLO FLAT ROAD
RESIDENTIAL DEVELOPMENT
PRECINCT 2, LOT 2 & 4 DP 1285072

Title ROAD LONG SECTIONS
ROAD 01

Status	FOR APPROVAL			
NOT TO BE USED FOR CONSTRUCTION PURPOSES				
Date	20/10/2022	Datum	AHD	Scale
				AS SHOWN
Size	A1			Revision
Drawing Number	50522046-C-2020			
				F

XREFs: 50522046 A1Title,LS PLOTROAD 03_1,LS PLOTROAD 02_2,LS PLOTROAD 01_1,LS PLOTROAD 04_1,LS PLOTROAD 05_1,LS PLOTROAD 06_1,LS PLOTROAD 07_2,LS PLOTROAD 7A_1,LS PLOTROAD 08_1
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DATE PLOTTED: 17 April 2023 10:09 AM BY: DAVID PIGRAM



LONGITUDINAL SECTION ROAD 07
SCALE 1:1000 HORI.
SCALE 1:100 VERT.

F	17/04/2023	FINAL DRAWINGS FOR Part 5 APPLICATION	TM	FL	JS
E	20/10/2022	DRAFT FOR REVIEW	TM	FL	JS
D	05/10/2022	DRAFT FOR REVIEW	TM	FL	JS
C	28/09/2022	DRAFT FOR REVIEW	TM	FL	JS
B	23/09/2022	DRAFT FOR REVIEW	TM	FL	JS
A	09/09/2022	DRAFT FOR REVIEW	TM	FL	JS
Rev.	Date	Description	Des.	Verif.	Appd.



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Drawn	AA	Date	20/10/2022
Checked	JS	Date	20/10/2022
Designed	TM	Date	20/10/2022
Verified	FL	Date	20/10/2022
Approved	JS	Date	20/10/2022

Client	NSW Department of Planning and Environment
Project	POLO FLAT ROAD RESIDENTIAL DEVELOPMENT PRECINCT 2, LOT 2 & 4 DP 1285072
Title	ROAD LONG SECTIONS ROAD 07 SHEET 1 OF 2

Status				FOR APPROVAL			
NOT TO BE USED FOR CONSTRUCTION PURPOSES							
Date		Datum		Scale		Size	
20/10/2022		AHD		AS SHOWN		A1	
Drawing Number						Revision	
50522046-C-2021						F	



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Drawn AA	Date 20/10/2022	Client NSW Department of Planning and Environment				
Checked	Date 20/10/2022	Project POLO FLAT ROAD RESIDENTIAL DEVELOPMENT PRECINCT 2, LOT 2 & 4 DP 1285072	Status FOR APPROVAL			
Designed TM	Date 20/10/2022		NOT TO BE USED FOR CONSTRUCTION PURPOSES			
Verified FL	Date 20/10/2022		Date 20/10/2022	Datum AHD	Scale AS SHOWN	Size A1
Approved		Title ROAD LONG SECTIONS ROAD 07 SHEET 2 OF 2	Drawing Number 50522046-C-2022		Revision F	
JS	20/10/2022					



GRADE

Datum RL812

FINISHED SURFACE

LEVEL

EXISTING SURFACE

LEVEL

CHAINAGE

HORIZONTAL GEOMETRY

LONGITUDINAL SECTION ROAD 08

SCALE 1:1000 HORI
SCALE 1:100 VERT.



GRADE

Datum RL817

FINISHED SURFACE

LEVEL

EXISTING SURFACE

LEVEL

CHAINAGE

HORIZONTAL GEOMETRY

LONGITUDINAL SECTION ROAD 09

SCALE 1:1000 HORI.
SCALE 1:100 VERT.

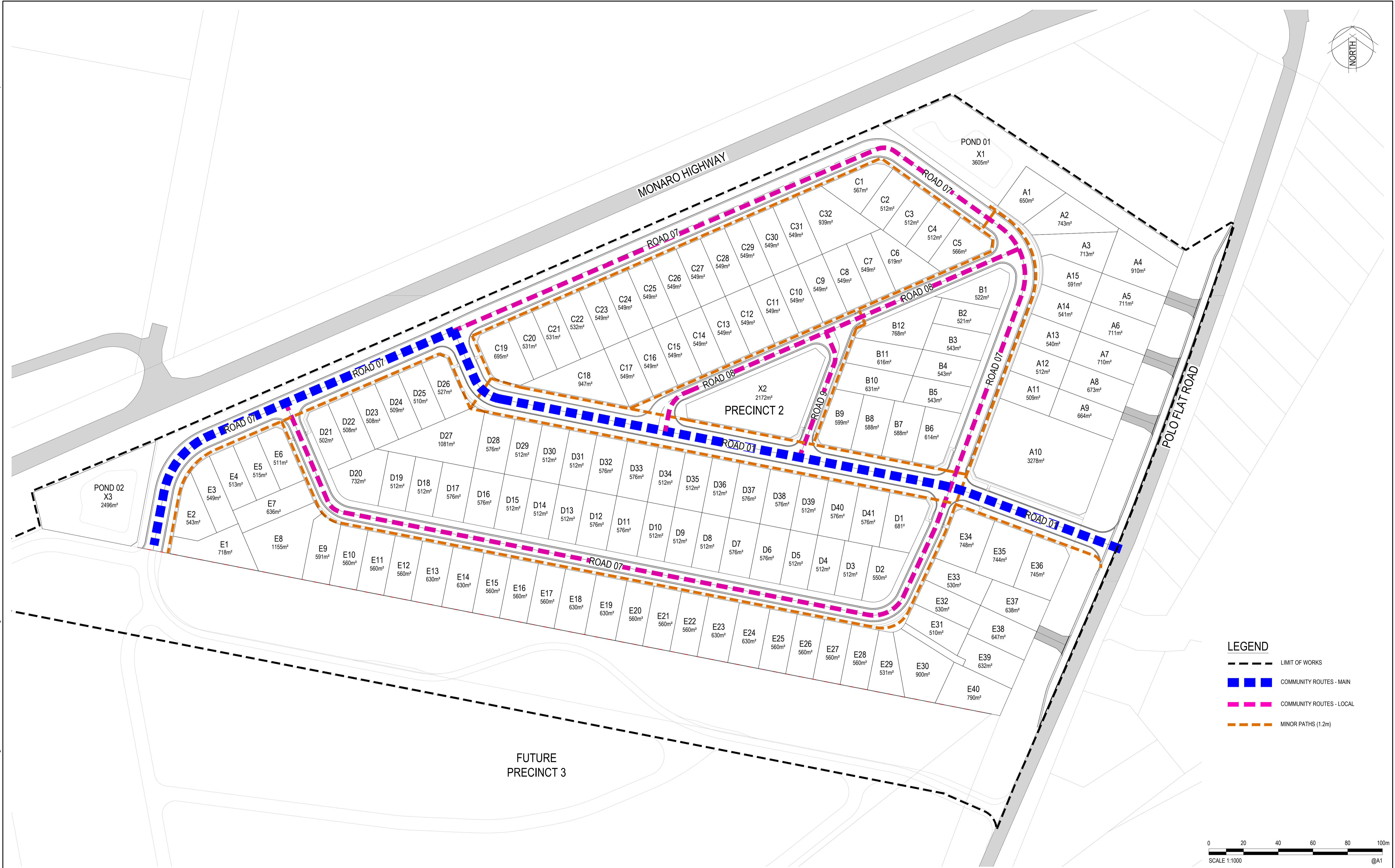


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Drawn AA	Date 20/10/2022	Client NSW Department of Planning and Environment				
Checked	Date 20/10/2022	Project POLO FLAT ROAD RESIDENTIAL DEVELOPMENT PRECINCT 2, LOT 2 & 4 DP 1285072	Status FOR APPROVAL			
Designed TM	Date 20/10/2022		NOT TO BE USED FOR CONSTRUCTION PURPOSES			
Verified FL	Date 20/10/2022		Date 20/10/2022	Datum AHD	Scale AS SHOWN	Size A1
Approved		Title ROAD LONG SECTIONS ROAD 08 AND ROAD 09	Drawing Number 50522046-C-2023		Revision F	
JS	20/10/2022					



F	17/04/2023	FINAL DRAWINGS FOR Part 5 APPLICATION	TM	FL	JS				
E	20/10/2022	DRAFT FOR REVIEW	TM	FL	JS				
D	05/10/2022	DRAFT FOR REVIEW	TM	FL	JS				
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Rev.	Date	Description	Des.	Verf.	Appd.				



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Drawn	AA	Date	20/10/2022
Checked	JS	Date	20/10/2022
Designed	TM	Date	20/10/2022
Verified	FL	Date	20/10/2022
Approved	JS	Date	20/10/2022

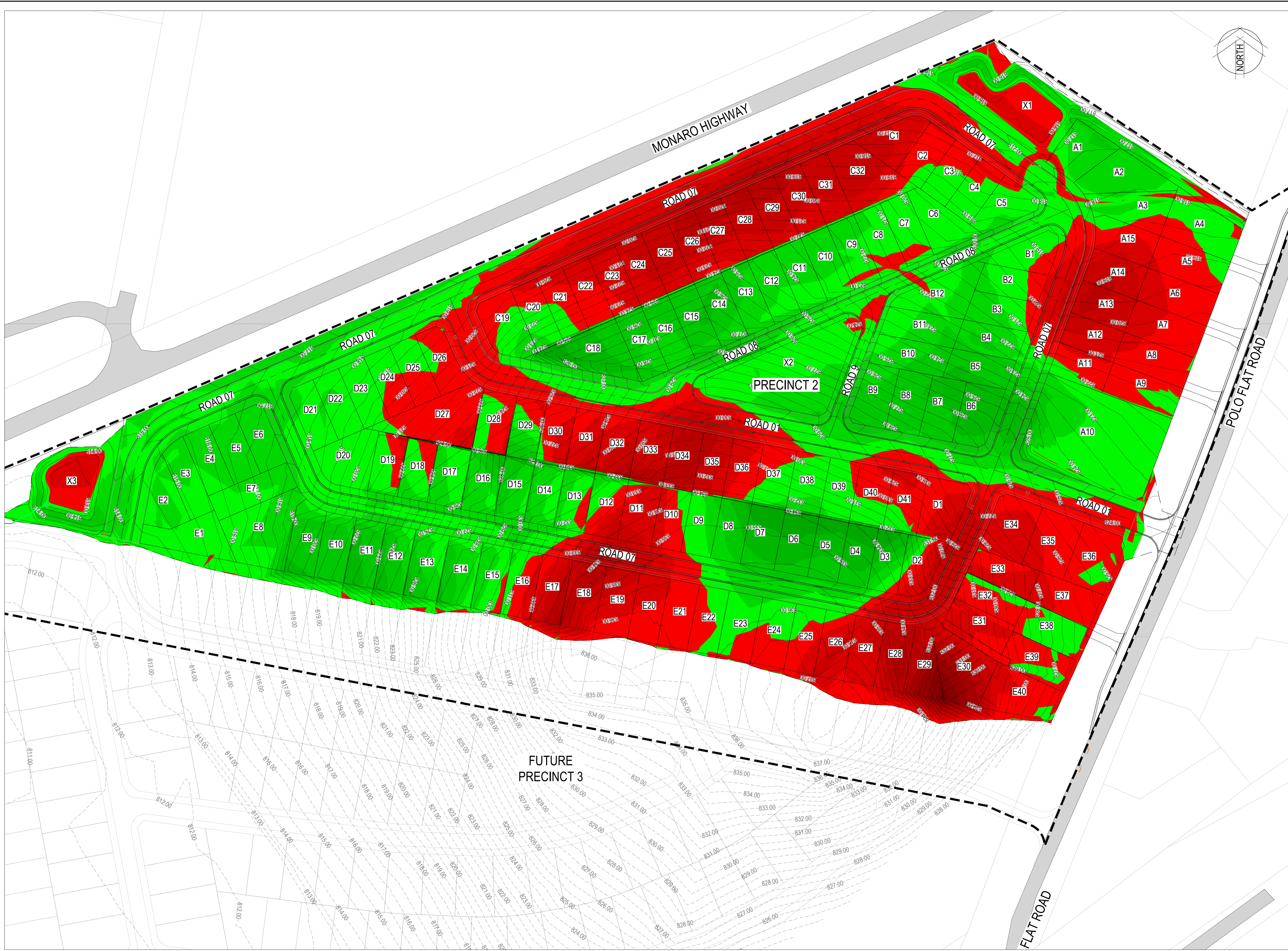
Client NSW Department of Planning and Environment

Project POLO FLAT ROAD
RESIDENTIAL DEVELOPMENT
PRECINCT 2, LOT 2 & 4 DP 1285072

Title ACTIVE TRAVEL PLAN

Status				
FOR APPROVAL				
NOT TO BE USED FOR CONSTRUCTION PURPOSES				
Date	Datum	Scale	Size	
20/10/2022	AHD	1:1000	A1	
Drawing Number				Revision
50522046-C-2030				F

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CAD File: N:\Projects\50522046\50522046 YALLAKOOL RD RESIDENTIAL DEVELOPMENT\Drawings\Build\DA\Precinct 2\50522046-C-2032 ISO.dwg DATE PLOTTED: 19 April 2023 11:10 AM BY: DAVID PIGRAM

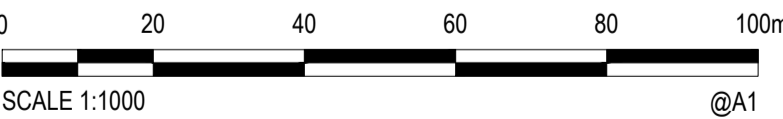


LEGEND

--- LIMIT OF WORKS

DEPTH RANGE			DEPTH RANGE		
Lower value	Upper value	Colour	Lower value	Upper value	Colour
-300	to	-15.5 m	0	to	0.5 m
-15.5	to	-14.0 m	0.5	to	1.0 m
-14.5	to	-13.0 m	1.0	to	1.5 m
-14.0	to	-14.5 m	1.5	to	2.0 m
-13.0	to	-12.5 m	2.0	to	2.5 m
-12.5	to	-12.0 m	2.5	to	3.0 m
-12.0	to	-11.5 m	3.0	to	3.5 m
-11.5	to	-11.0 m	3.5	to	4.0 m
-11.0	to	-10.5 m	4.0	to	4.5 m
-10.5	to	-10.0 m	4.5	to	5.0 m
-10.0	to	-9.5 m	5.0	to	5.5 m
-9.5	to	-9.0 m	5.5	to	6.0 m
-9.0	to	-8.5 m	6.0	to	6.5 m
-8.5	to	-8.0 m	6.5	to	7.0 m
-8.0	to	-7.5 m	7.0	to	7.5 m
-7.5	to	-7.0 m	7.5	to	8.0 m
-7.0	to	-6.5 m	8.0	to	8.5 m
-6.5	to	-6.0 m	8.5	to	9.0 m
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-3.0	to	-2.5 m	12.0	to	12.5 m
-2.5	to	-2.0 m	12.5	to	13.0 m
-2.0	to	-1.5 m	13.0	to	14.5 m
-1.5	to	-1.0 m	14.5	to	15.0 m
-1.0	to	-0.5 m	15.0	to	15.5 m
-0.5	to	0 m	15.5	to	300 m

TOTAL CUT	- 35,857.408
TOTAL FILL	43,933.636
TOTAL BALANCE	8076.228
ie EXCESS OF FILL OVER CUT	8076.228



Rev.	Date	Description	Des.	Verf.	Appd.
F	17/04/2023	FINAL DRAWINGS FOR Part 5 APPLICATION	TM	FL	JS
E	20/10/2022	DRAFT FOR REVIEW	TM	FL	JS
D	05/10/2022	DRAFT FOR REVIEW	TM	FL	JS
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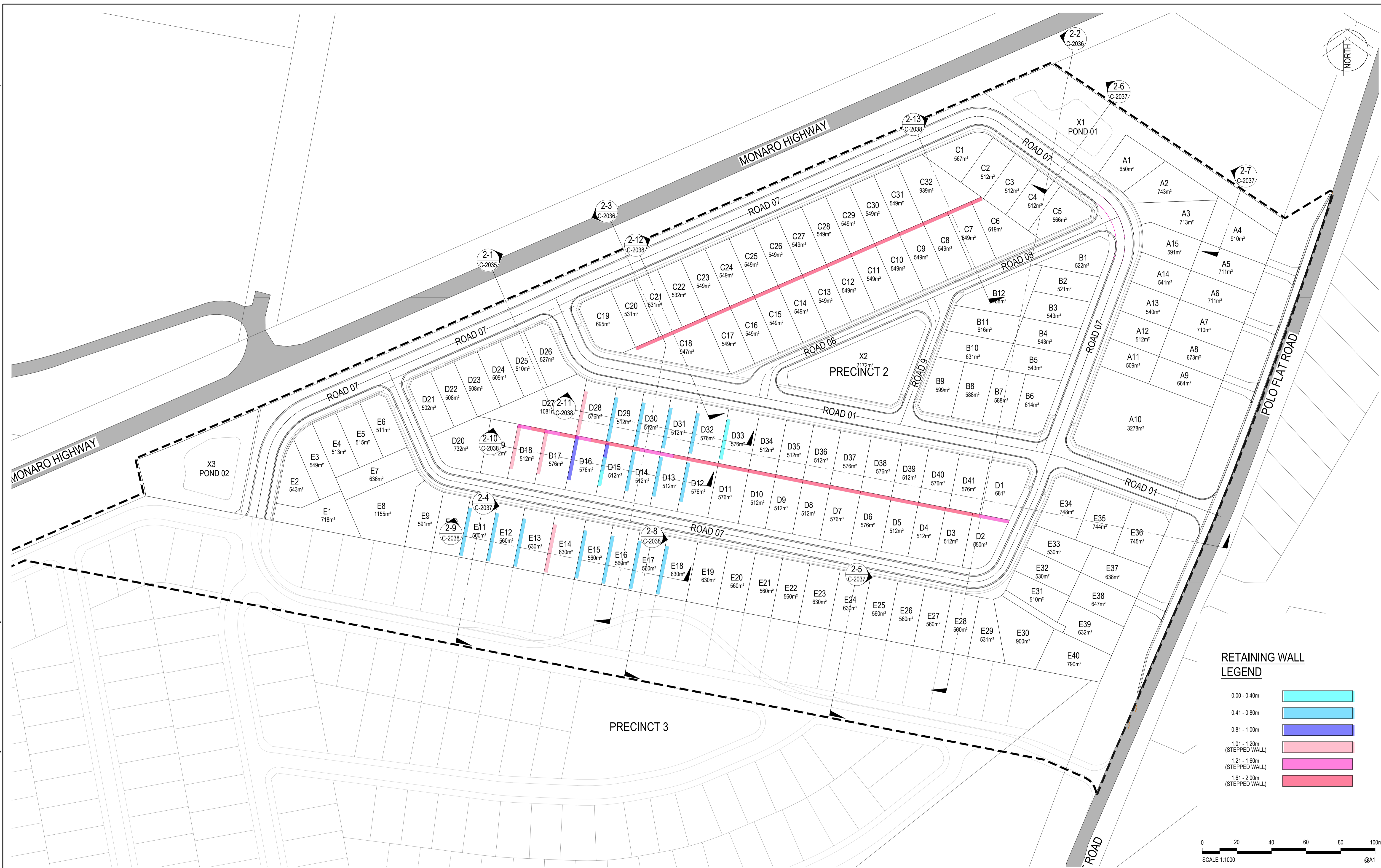
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Drawn	AA	Date	20/10/2022
Checked	JS	Date	20/10/2022
Designed	TM	Date	20/10/2022
Verified	FL	Date	20/10/2022
Approved	JS	Date	20/10/2022

Client	NSW Department of Planning and Environment
Project	POLO FLAT ROAD RESIDENTIAL DEVELOPMENT PRECINCT 2, LOT 2 & 4 DP 1285072
Title	ISOPACH

Status					FOR APPROVAL				
NOT TO BE USED FOR CONSTRUCTION PURPOSES									
Date		Datum		Scale		Size			
20/10/2022		AHD		1:1000		A1			
Drawing Number							Revision		
50522046-C-2032							F		



B	27/10/2022	NEW SECTIONS ADDED	TM	FL	JS
A	20/10/2022	DRAFT FOR REVIEW	TM	FL	JS
Rev.	Date	Description	Des.	Verif.	Appd.



Planning & Environment

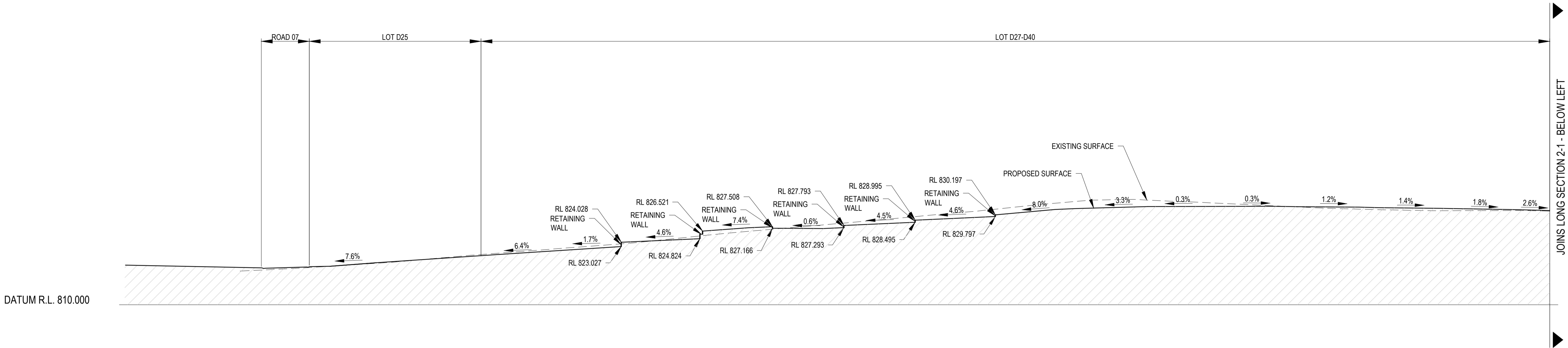
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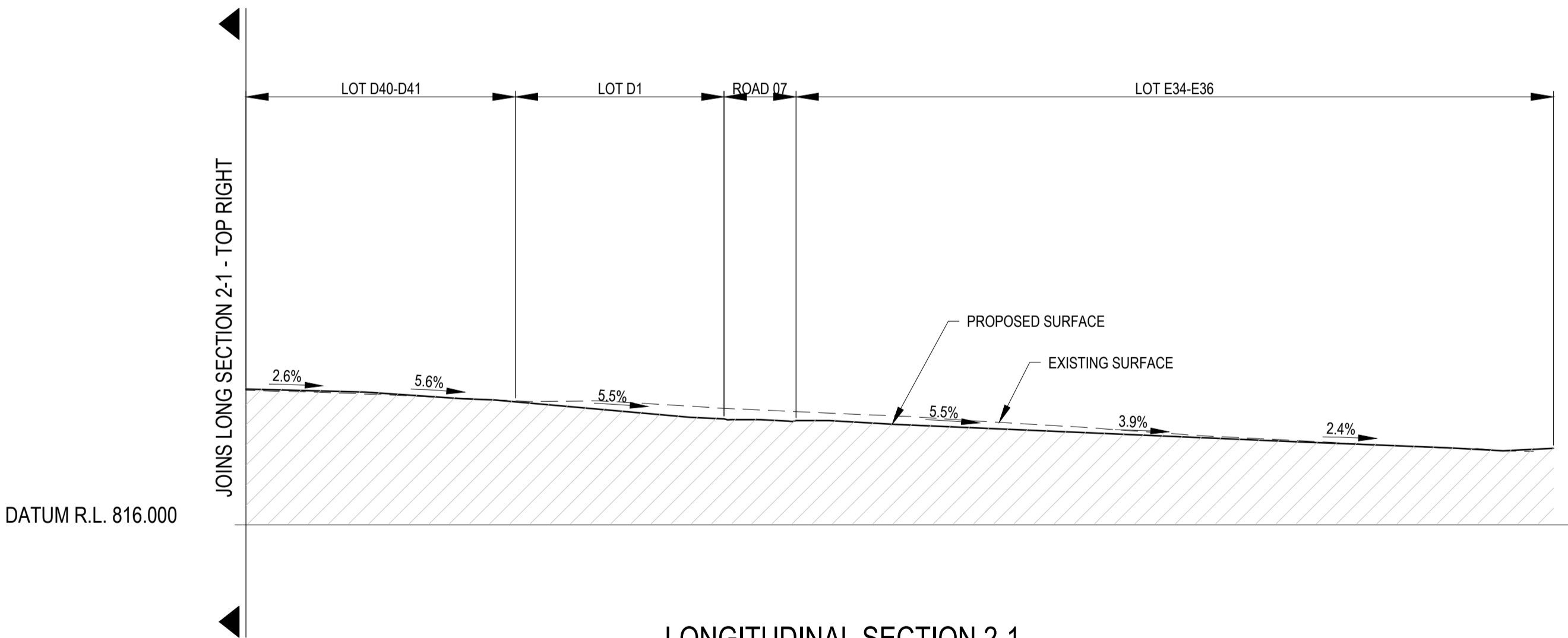
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Checked JS	Date 27/10/2022	Project	POLO FLAT ROAD RESIDENTIAL DEVELOPMENT PRECINCT 2, LOT 2 & 4 DP 1285072		Status	FOR APPROVAL
Designed TM	Date 27/10/2022				NOT TO BE USED FOR CONSTRUCTION PURPOSE	
Verified FL	Date 27/10/2022	Title			Date 27/10/2022	A1
Approved		RETAINING WALL PLAN			Datum AHD	Scale 1:1000
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JS	27/10/2022				Drawing Number 50522046-C-2034	B

DATE PLOTTED: 17 April 2023 10:38 AM BY: DAVID PIGRAM

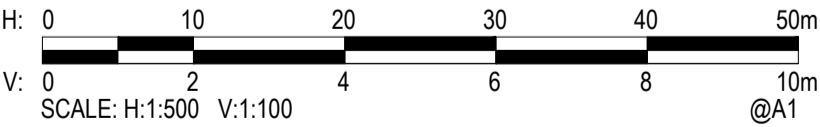
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LONGITUDINAL SECTION 2-1



LONGITUDINAL SECTION 2-1



Rev.	Date	Description	Des.	Verif.	Appd.
G	17/04/2023	FINAL DRAWINGS FOR Part 5 APPLICATION	TM	FL	JS
F	27/10/2022	FINAL	TM	FL	JS
E	20/10/2022	DRAFT FOR REVIEW	TM	FL	JS
D	05/10/2022	DRAFT FOR REVIEW	TM	FL	JS
C	28/09/2022	DRAFT FOR REVIEW	TM	FL	JS
B	23/09/2022	DRAFT FOR REVIEW	TM	FL	JS
A	09/09/2022	DRAFT FOR REVIEW	TM	FL	JS



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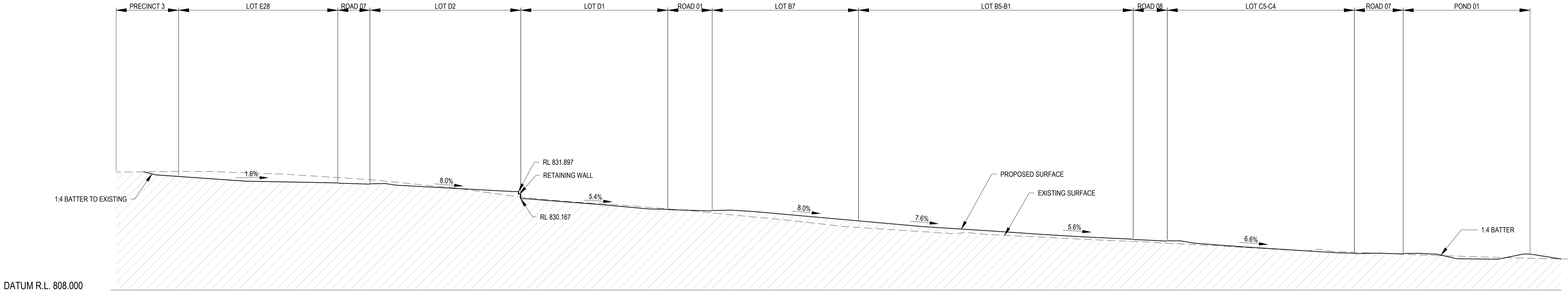
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Checked	JS	Date	27/10/2022
Designed	TM	Date	27/10/2022
Verified	FL	Date	27/10/2022
Approved	JS	Date	27/10/2022

Client	NSW Department of Planning and Environment		
Project	POLO FLAT ROAD RESIDENTIAL DEVELOPMENT PRECINCT 2, LOT 2 & 4 DP 1285072		
Title	TYPICAL CUT/FILL SECTIONS SHEET 1 OF 4		

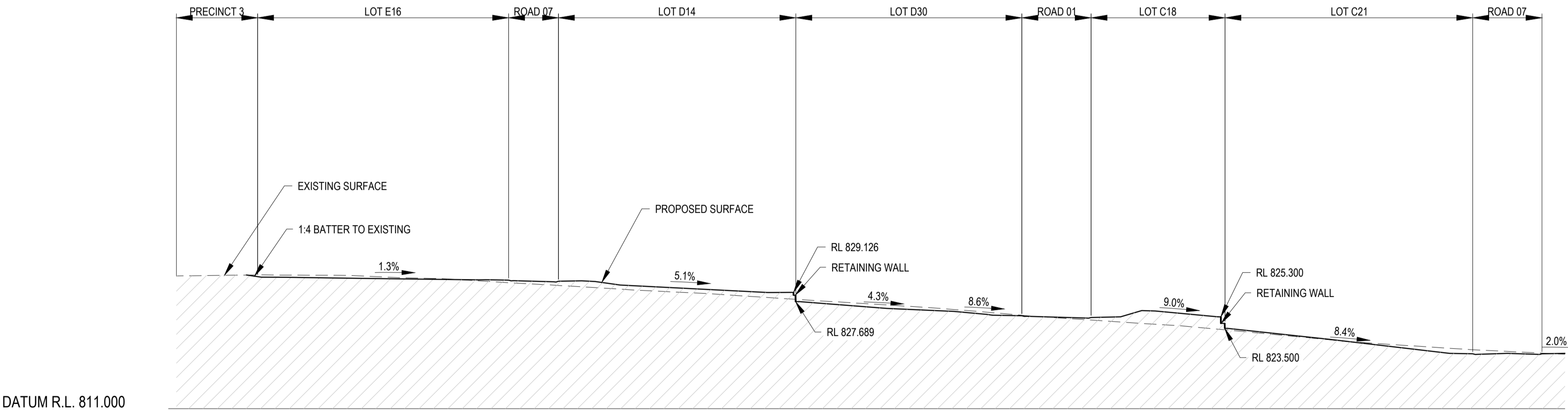
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Scale	AS SHOWN	Size	A1
Drawing Number	50522046-C-2035		Revision
		G	

DATE PLOTTED: 4 May 2023 1:15 PM BY: DAVID PIGRAM

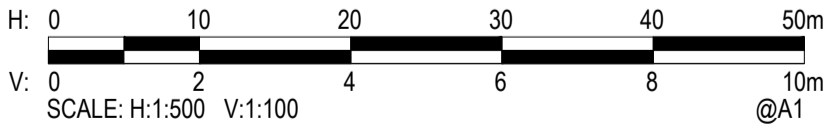
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LONGITUDINAL SECTION 2-2



LONGITUDINAL SECTION 2-3



Rev.	Date	Description	Des.	Verif.	Appd.
G	17/04/2023	FINAL DRAWINGS FOR Part 5 APPLICATION	TM	FL	JS
F	27/10/2022	FINAL	TM	FL	JS
E	20/10/2022	DRAFT FOR REVIEW	TM	FL	JS
D	05/10/2022	DRAFT FOR REVIEW	TM	FL	JS
C	28/09/2022	DRAFT FOR REVIEW	TM	FL	JS
B	23/09/2022	DRAFT FOR REVIEW	TM	FL	JS
A	09/09/2022	DRAFT FOR REVIEW	TM	FL	JS



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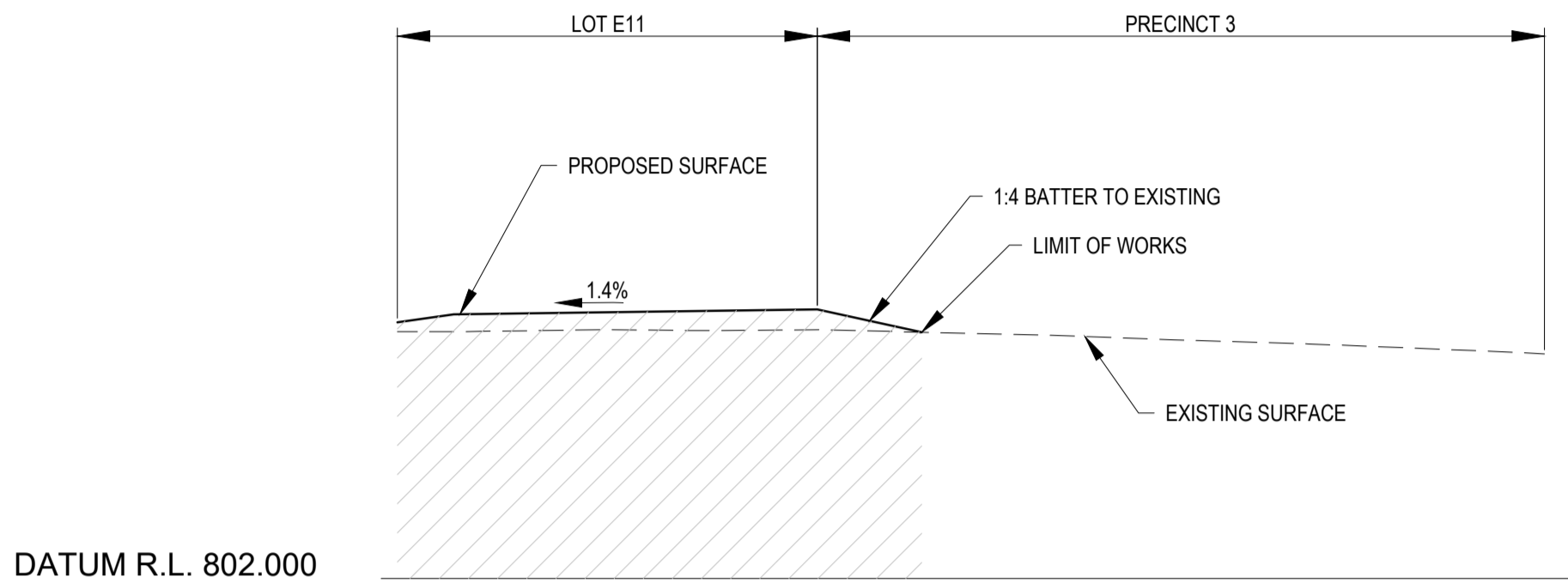


Drawn	AA	Date	27/10/2022
Checked	JS	Date	27/10/2022
Designed	TM	Date	27/10/2022
Verified	FL	Date	27/10/2022
Approved	JS	Date	27/10/2022

Client	NSW Department of Planning and Environment
Project	POLO FLAT ROAD RESIDENTIAL DEVELOPMENT PRECINCT 2, LOT 2 & 4 DP 1285072
Title	TYPICAL CUT/FILL SECTIONS SHEET 2 OF 4

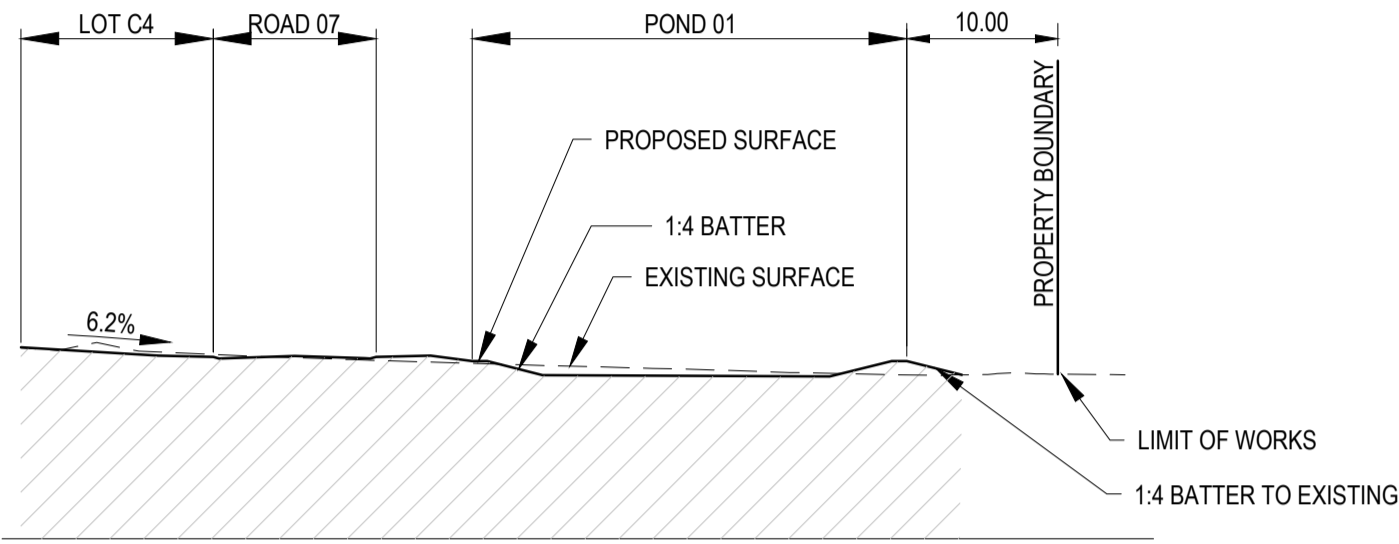
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Date	27/10/2022	Datum	AHD	Scale
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Drawing Number	50522046-C-2036			Size
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Revision	G			

DATE PLOTTED: 17 April 2023 10:01 AM BY: DAVID PIGRAM



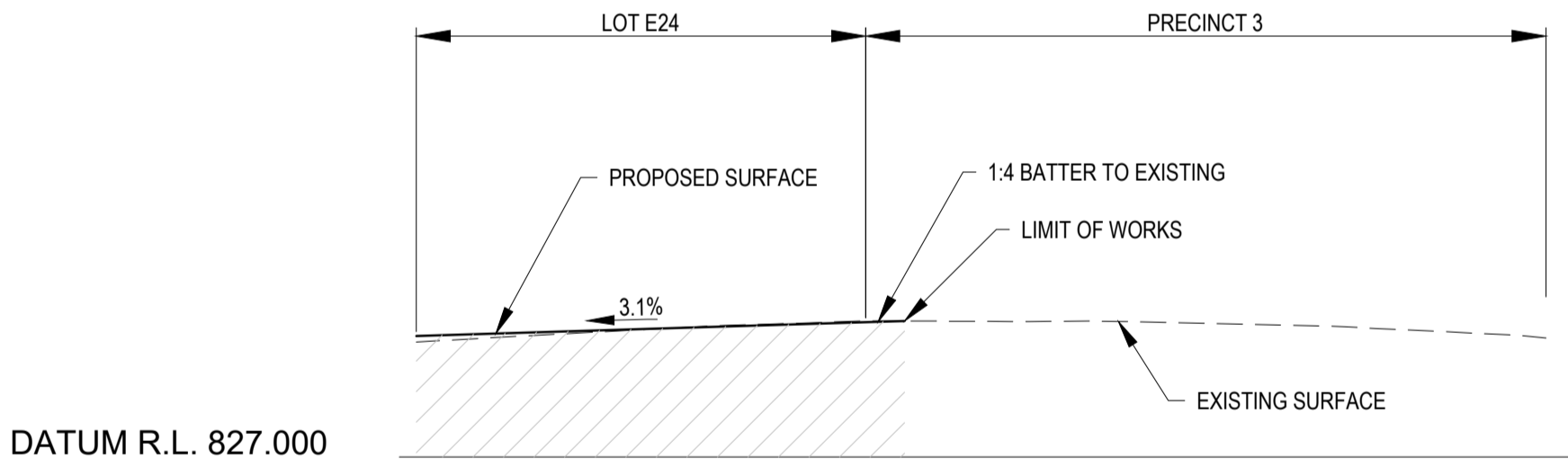
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SCALE - HORIZ 1:500 VERT 1:100



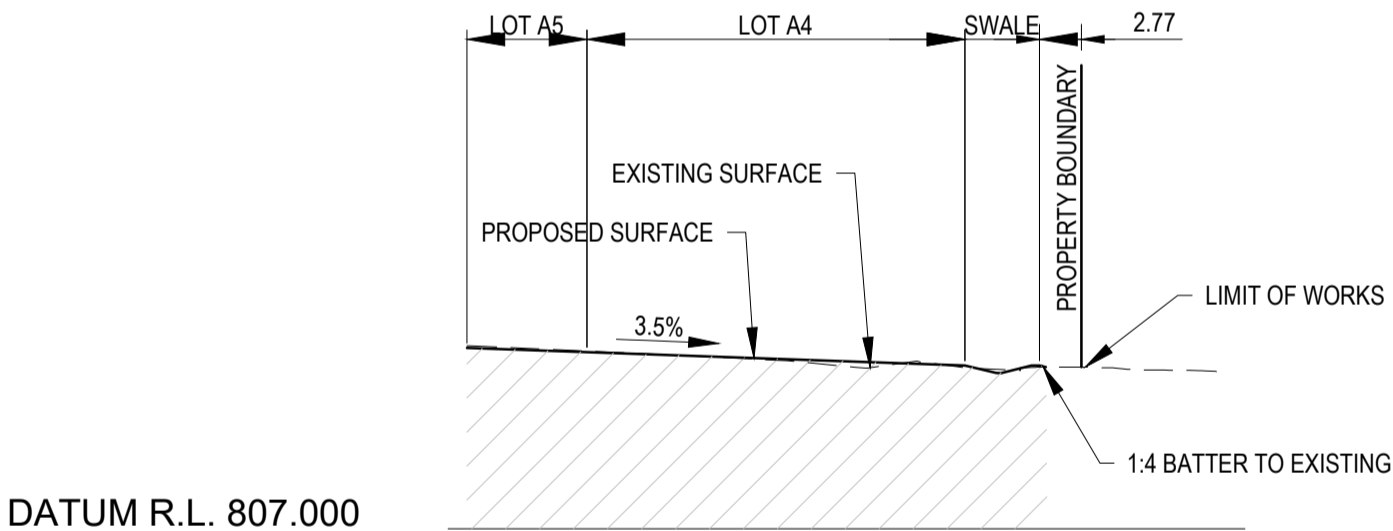
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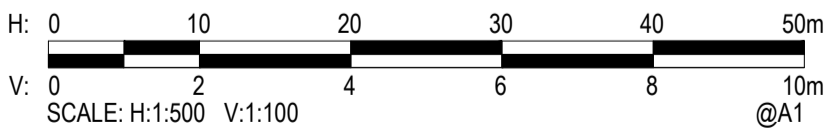
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SCALE - HORIZ 1:500 VERT 1:100



LONGITUDINAL SECTION 2-7

SCALE - HORIZ 1:500 VERT 1:100



XREFs: 50522046 A1Title

CAD File: N:\Projects\50522046 YALLAKOOL RD RESIDENTIAL DEVELOPMENT\Drawings\Build\DA\Precinct 2\50522046-C-2037 Typ Out-Fill Sect.dwg

Rev.	Date	Description	Des.	Verif.	Appd.
C	17/04/2023	FINAL DRAWINGS FOR Part 5 APPLICATION	TM	FL	JS
B	27/10/2022	FINAL	TM	FL	JS
A	20/10/2022	DRAFT FOR REVIEW	TM	FL	JS



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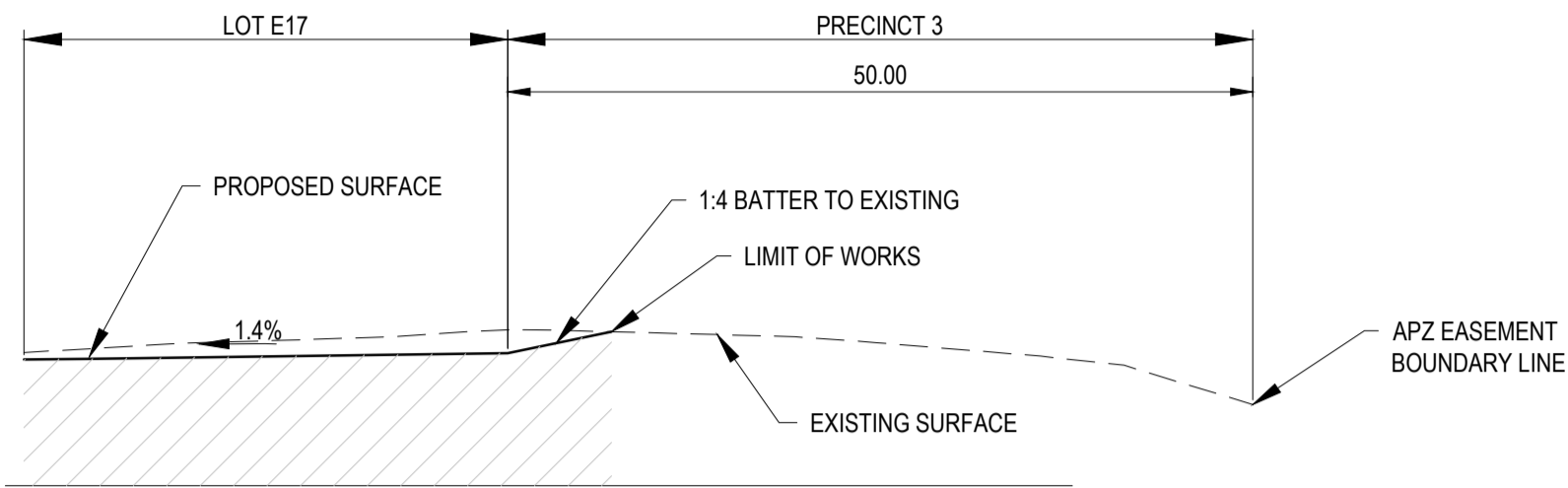


Drawn	AA	Date	27/10/2022
Checked	JS	Date	27/10/2022
Designed	TM	Date	27/10/2022
Verified	FL	Date	27/10/2022
Approved	JS	Date	27/10/2022

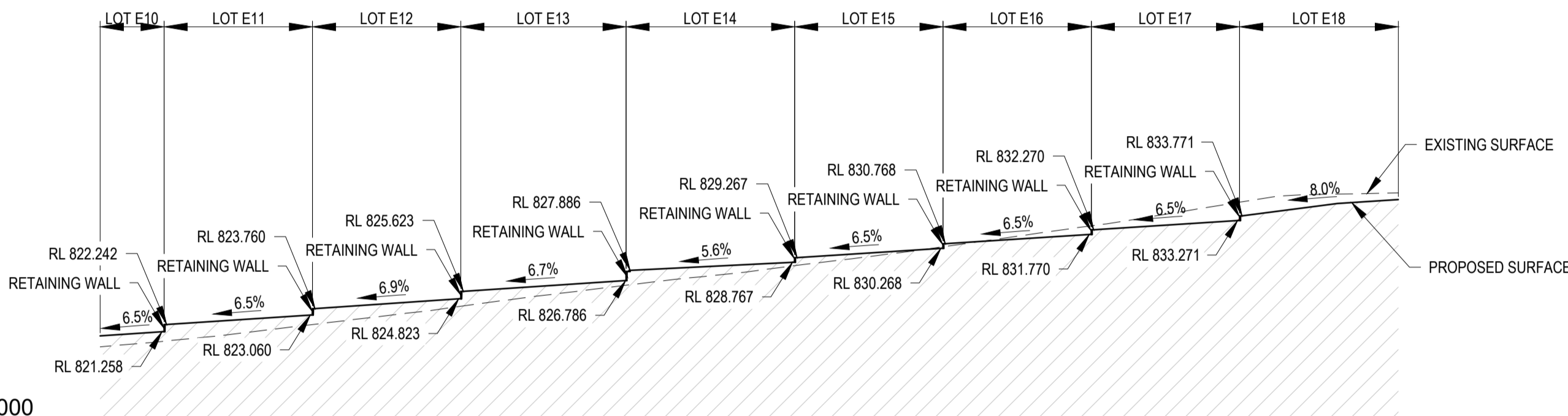
Client	NSW Department of Planning and Environment		
Project	POLO FLAT ROAD RESIDENTIAL DEVELOPMENT PRECINCT 2, LOT 2 & 4 DP 1285072		
Title	TYPICAL CUT/FILL SECTIONS SHEET 3 OF 4		

Status					FOR APPROVAL				
NOT TO BE USED FOR CONSTRUCTION PURPOSES									
Date		Datum		Scale		Size			
27/10/2022		AHD		AS SHOWN		A1			
Drawing Number							Revision		
50522046-C-2037							C		

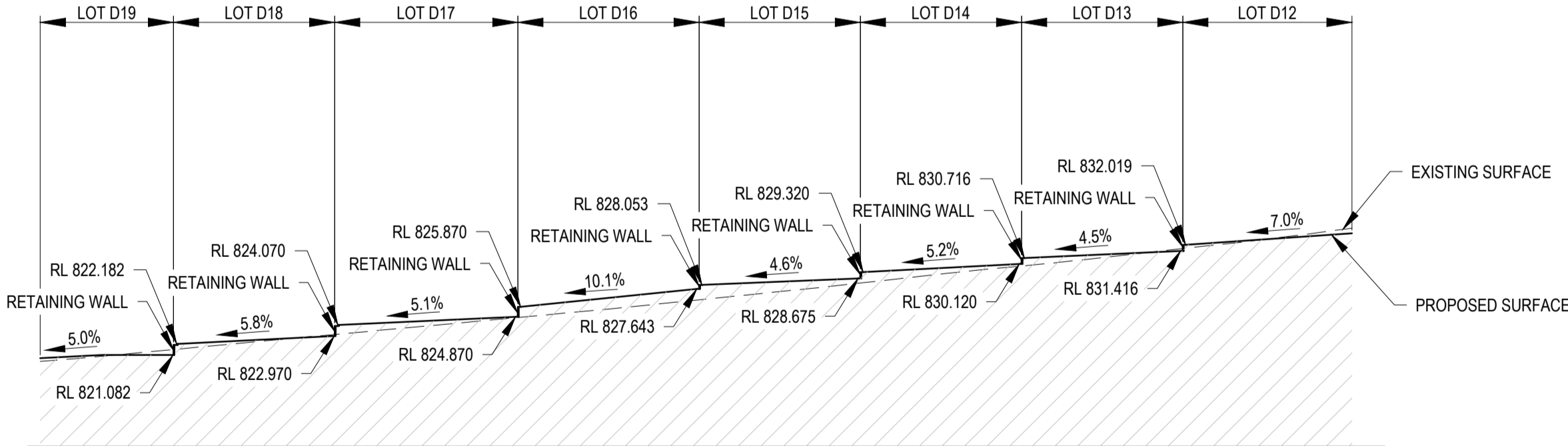
DATE PLOTTED: 4 May 2023 1:15 PM BY: DAVID PIGRAM



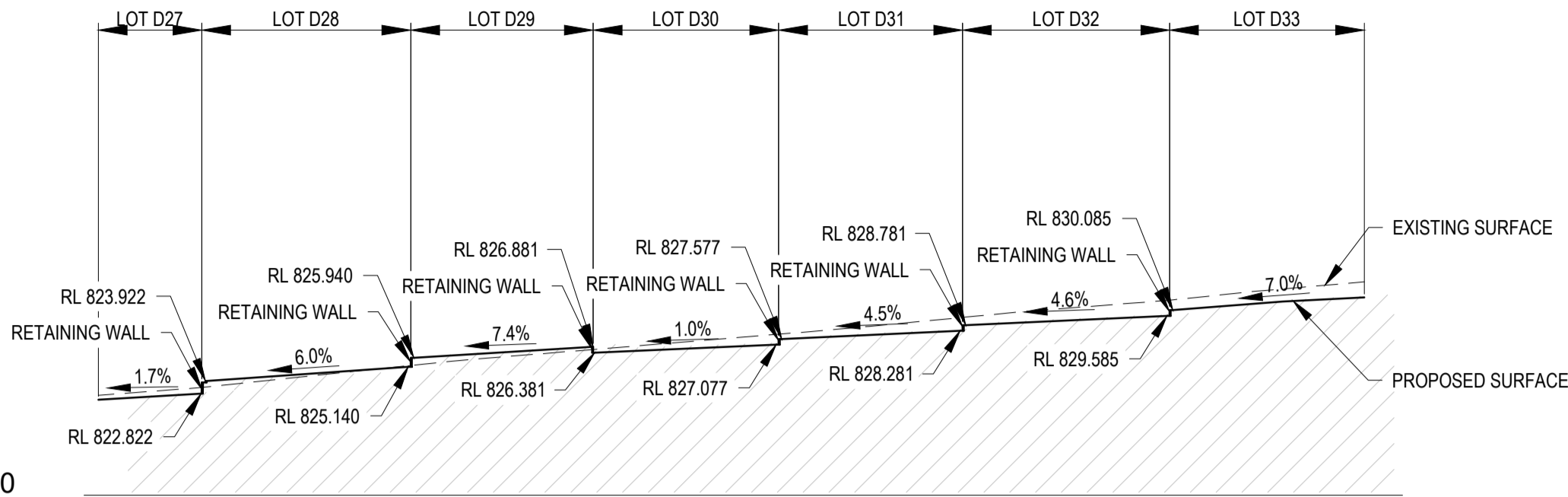
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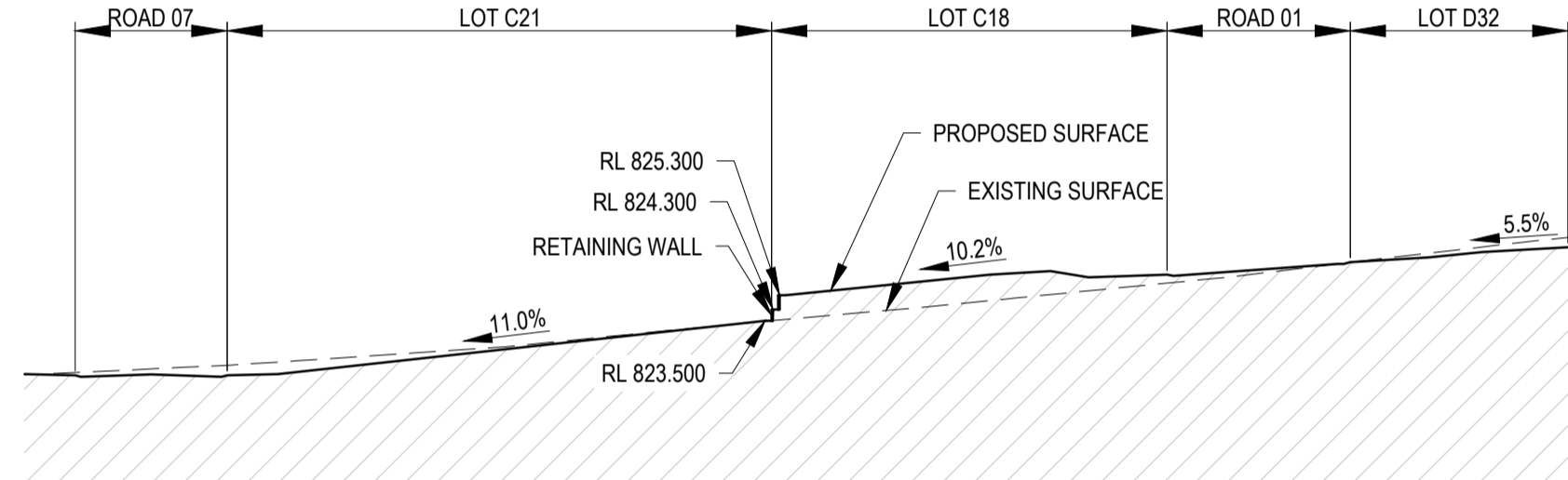
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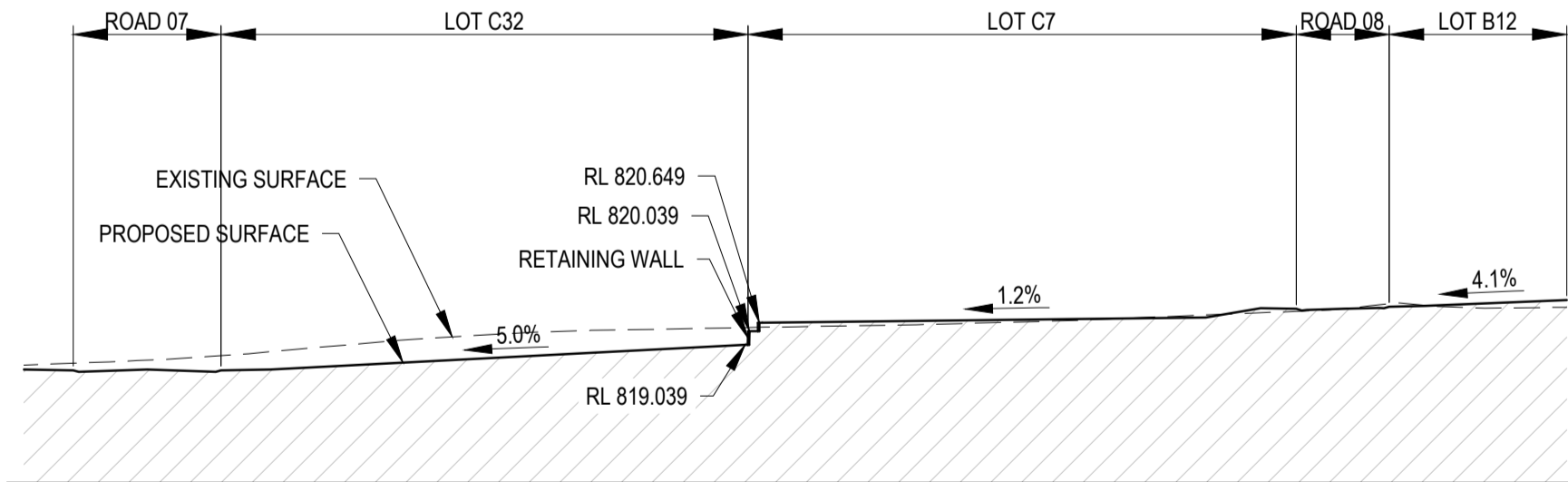
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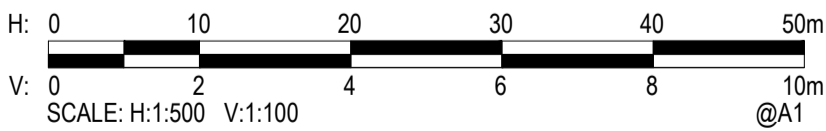
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LONGITUDINAL SECTION 2-12



LONGITUDINAL SECTION 2-13



XREFs: 50522046 A1Title

CAD File: N:\Projects\50522046 YALLAKOOL RD RESIDENTIAL DEVELOPMENT\Drawings\Build\DA\Precinct 2\50522046-C-2038 Typ Out-Fill Sect.dwg

Rev.	Date	Description	Des.	Verif.	Appd.
C	17/04/2023	FINAL DRAWINGS FOR Part 5 APPLICATION	TM	FL	JS
B	27/10/2022	FINAL	TM	FL	JS
A	20/10/2022	DRAFT FOR REVIEW	TM	FL	JS



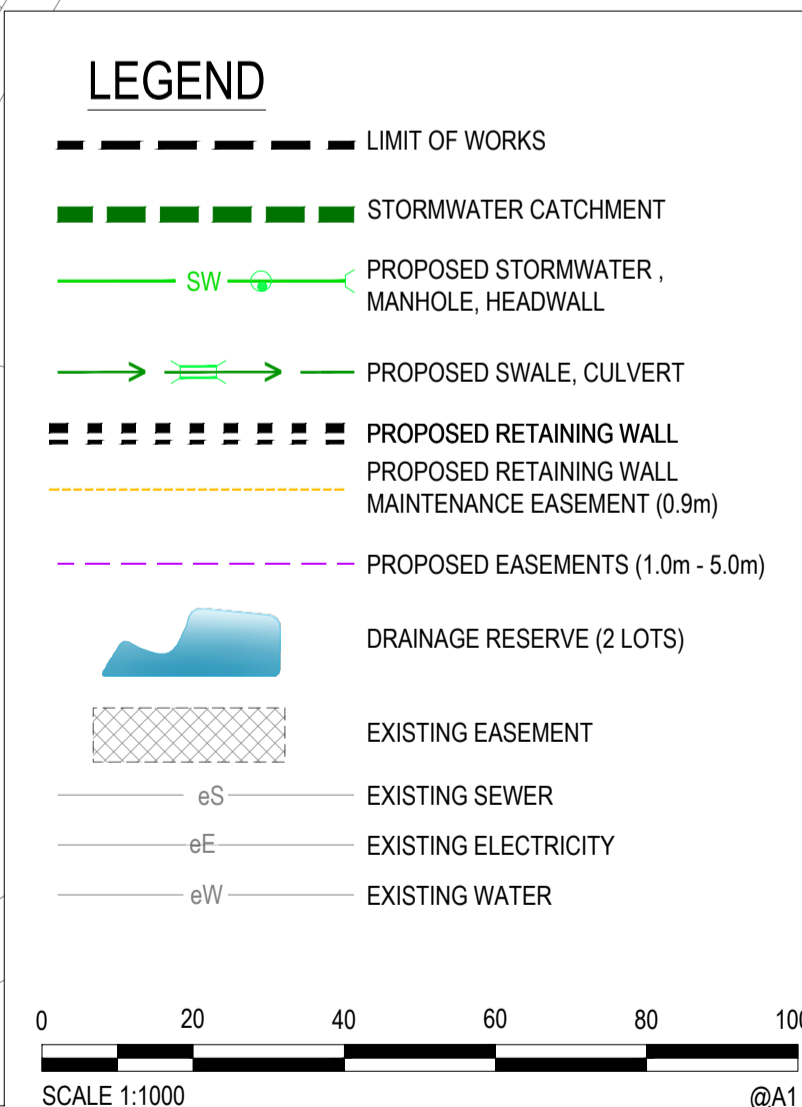
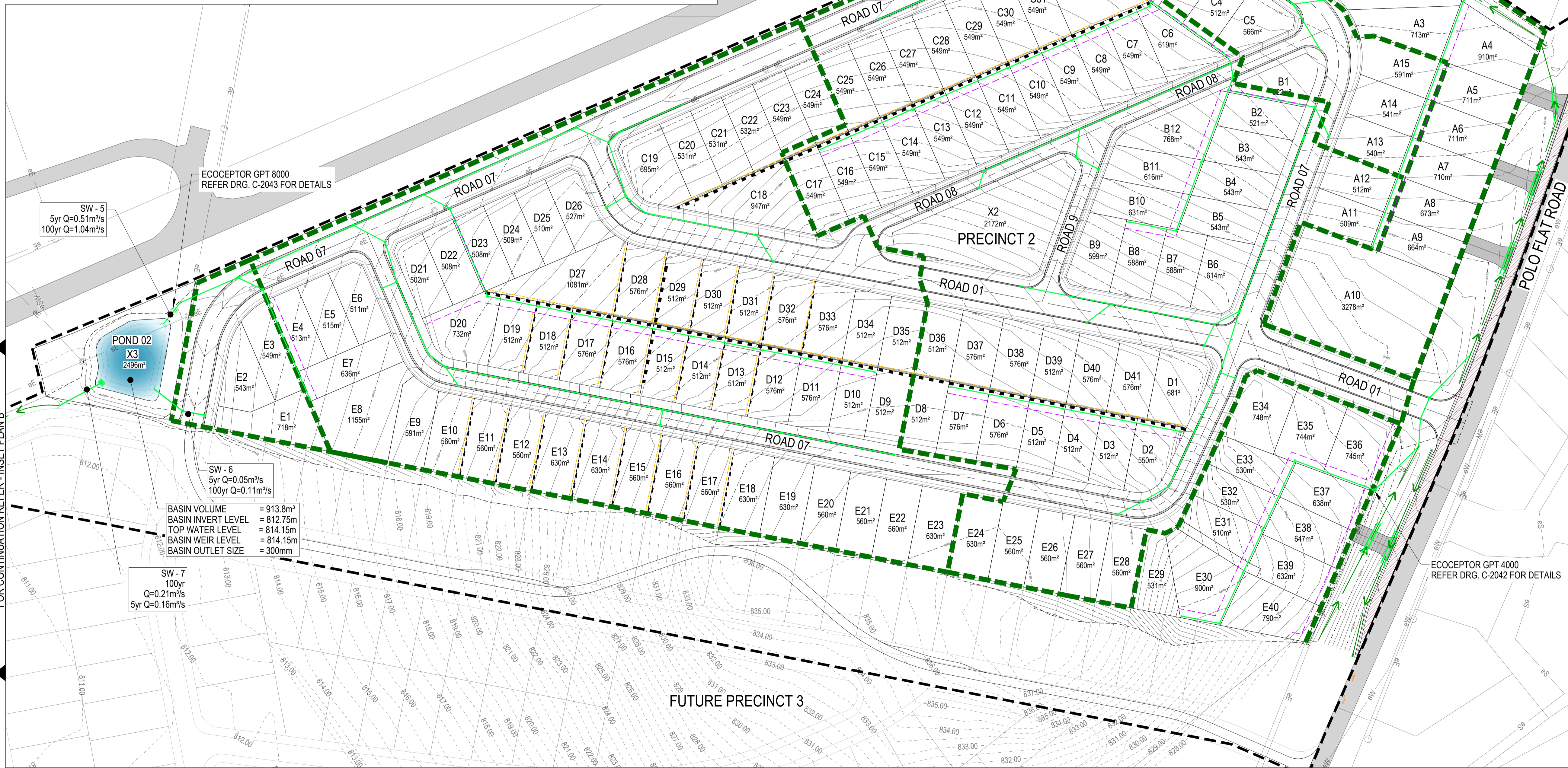
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Checked	JS	Date	27/10/2022
Designed	TM	Date	27/10/2022
Verified	FL	Date	27/10/2022
Approved	JS	Date	27/10/2022

Client	NSW Department of Planning and Environment		
Project	POLO FLAT ROAD RESIDENTIAL DEVELOPMENT PRECINCT 2, LOT 2 & 4 DP 1285072		
Title	TYPICAL CUT/FILL SECTIONS SHEET 4 OF 4		

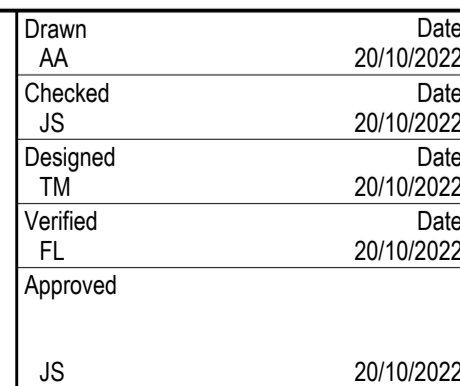
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NOT TO BE USED FOR CONSTRUCTION PURPOSES					
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Drawing Number				Revision	
50522046-C-2038				C	



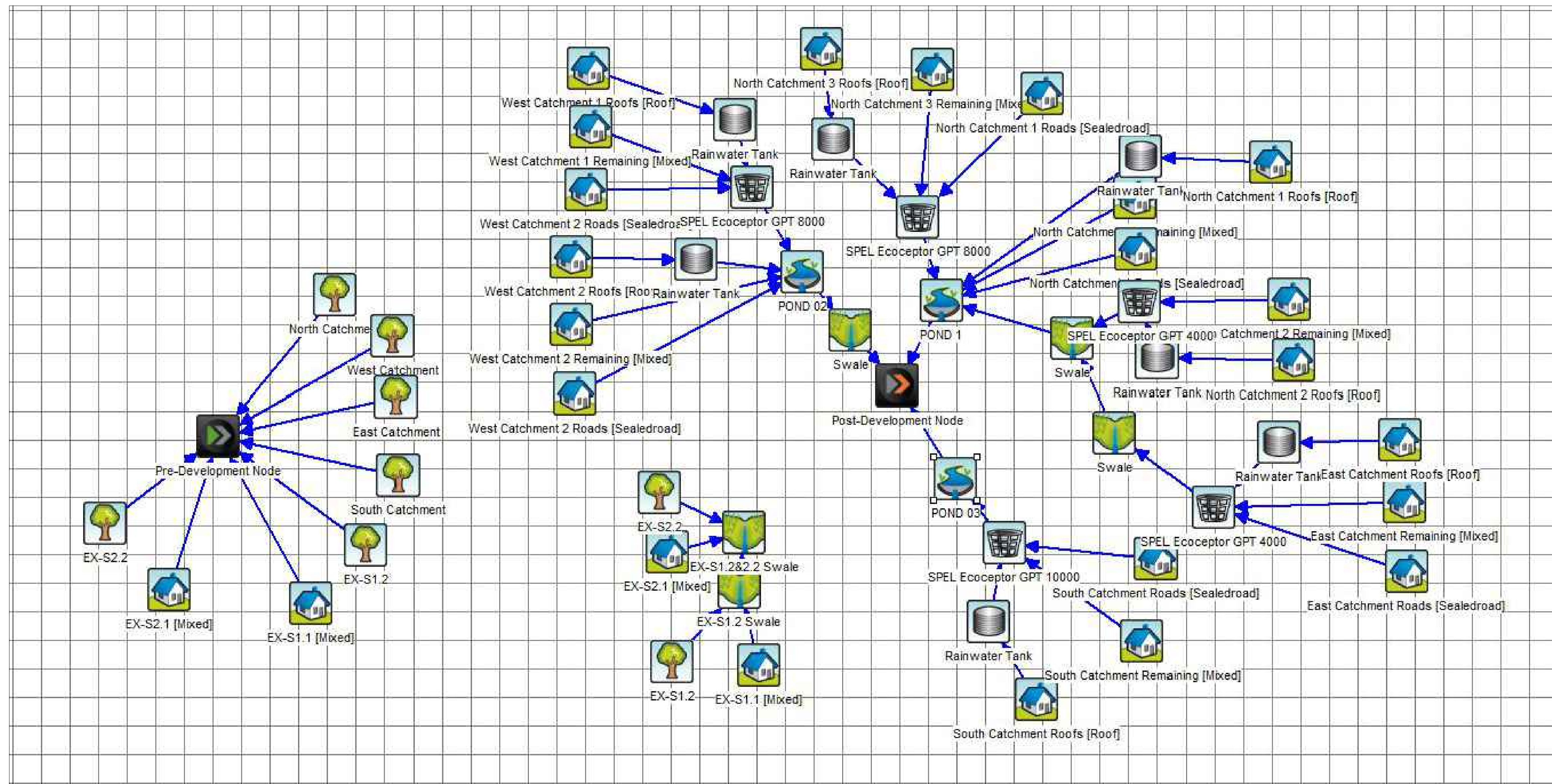
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Status		FOR APPROVAL	
NOT TO BE USED FOR CONSTRUCTION PURPOSES			
Date	Datum	Scale	Size
20/10/2022	AHD	1:1000	A1
Drawing Number			Revision
50522046-C-2040			F



F	17/04/2023	FINAL DRAWINGS FOR Part 5 APPLICATION				
E	20/10/2022	DRAFT FOR REVIEW	TM	FL	JS	
D	05/10/2022	DRAFT FOR REVIEW	TM	FL	JS	
C	28/09/2022	DRAFT FOR REVIEW	TM	FL	JS	
B	23/09/2022	DRAFT FOR REVIEW	TM	FL	JS	
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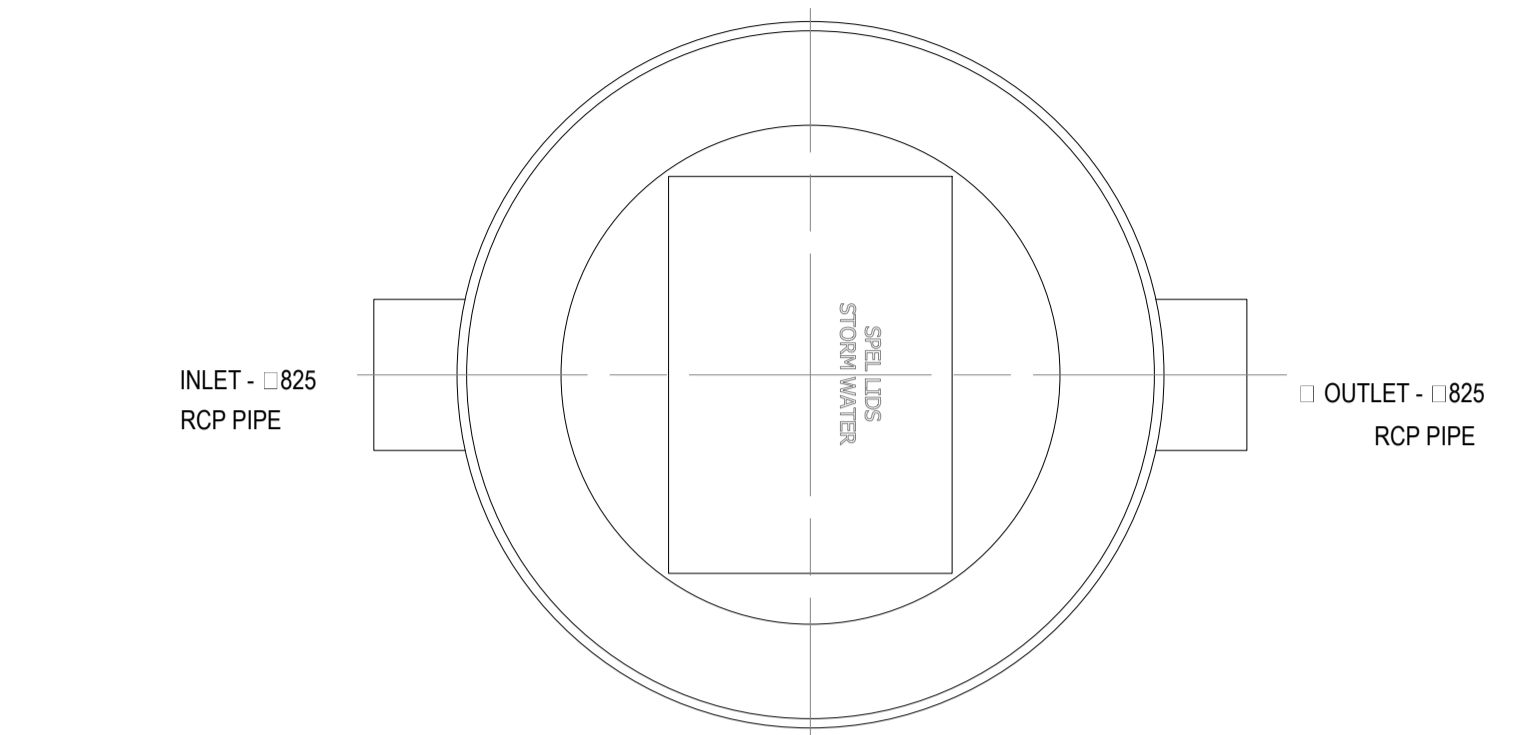


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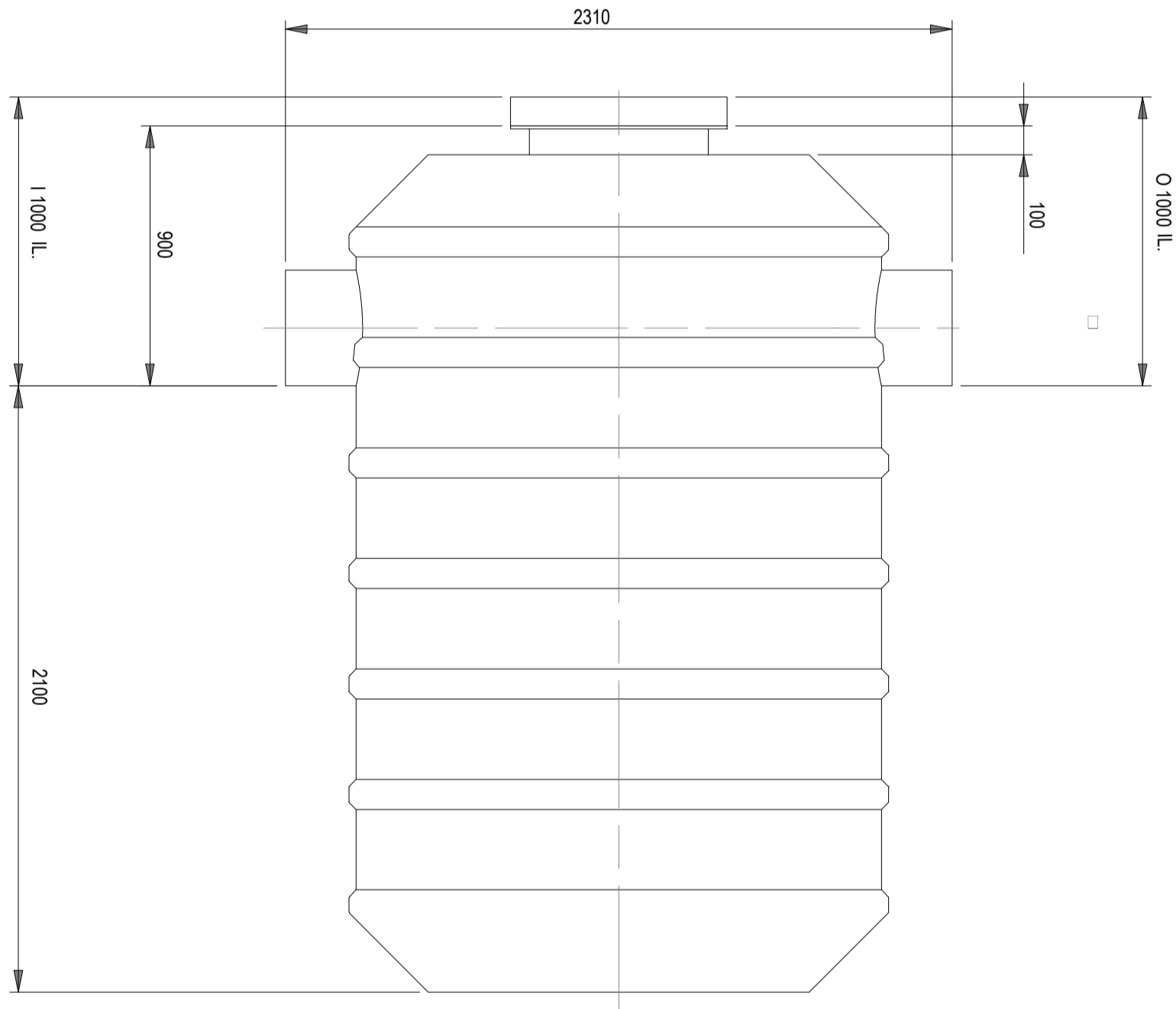


Drawn AA	Date 20/10/2022	Client NSW Department of Planning and Environment								
Checked JS	Date 20/10/2022	Project POLO FLAT ROAD RESIDENTIAL DEVELOPMENT PRECINCT 2, LOT 2 & 4 DP 1285072								
Designed TM	Date 20/10/2022	Status <div>FOR APPROVAL</div> <div>NOT TO BE USED FOR CONSTRUCTION PURPOSES</div>								
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Approved JS	Date 20/10/2022	Title WATER SENSITIVE URBAN DESIGN OUTCOME PLAN AND WATER QUALITY TABLE								

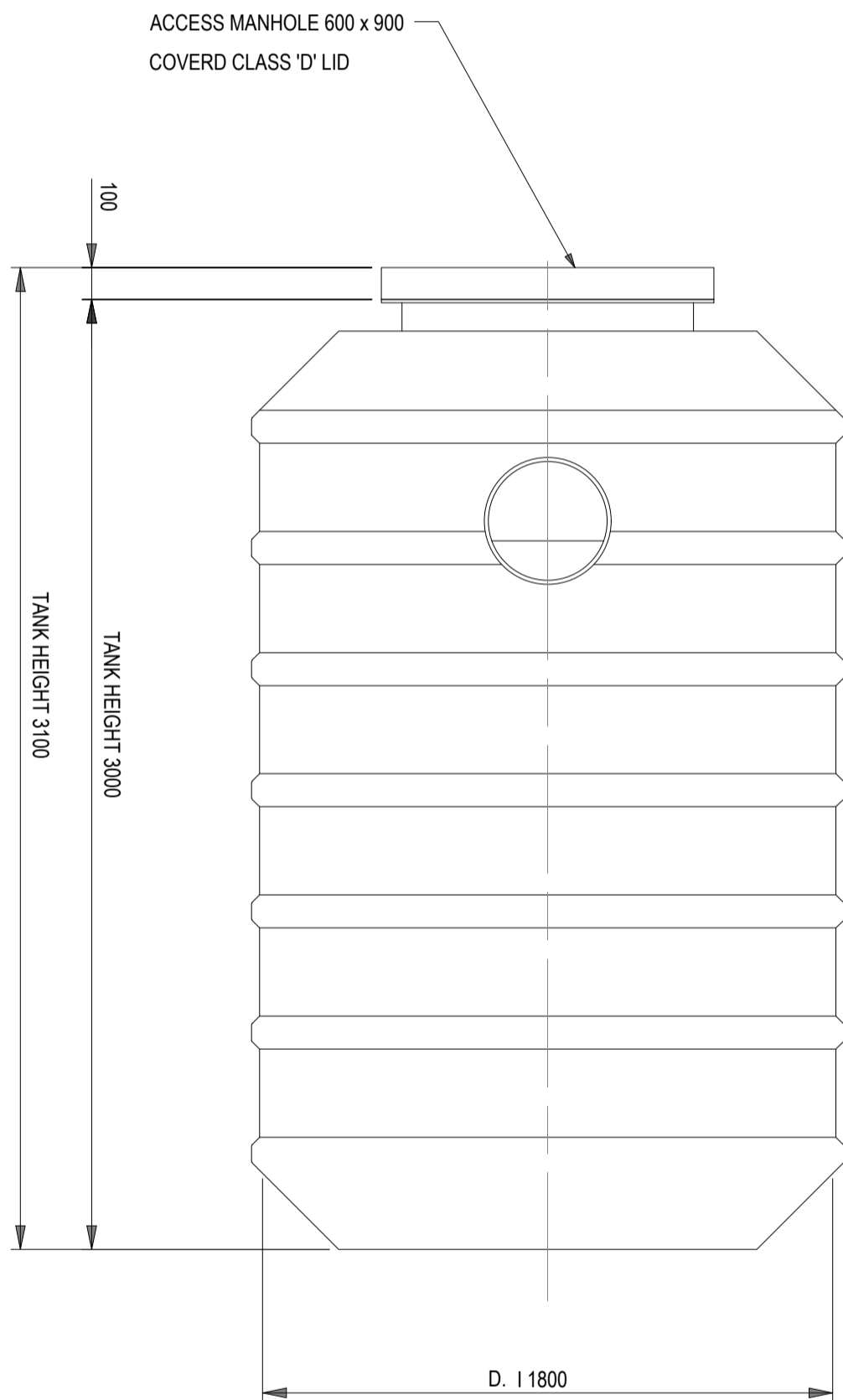
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DATE PLOTTED: 17 April 2023 9:55 AM BY: DAVID PIGRAM



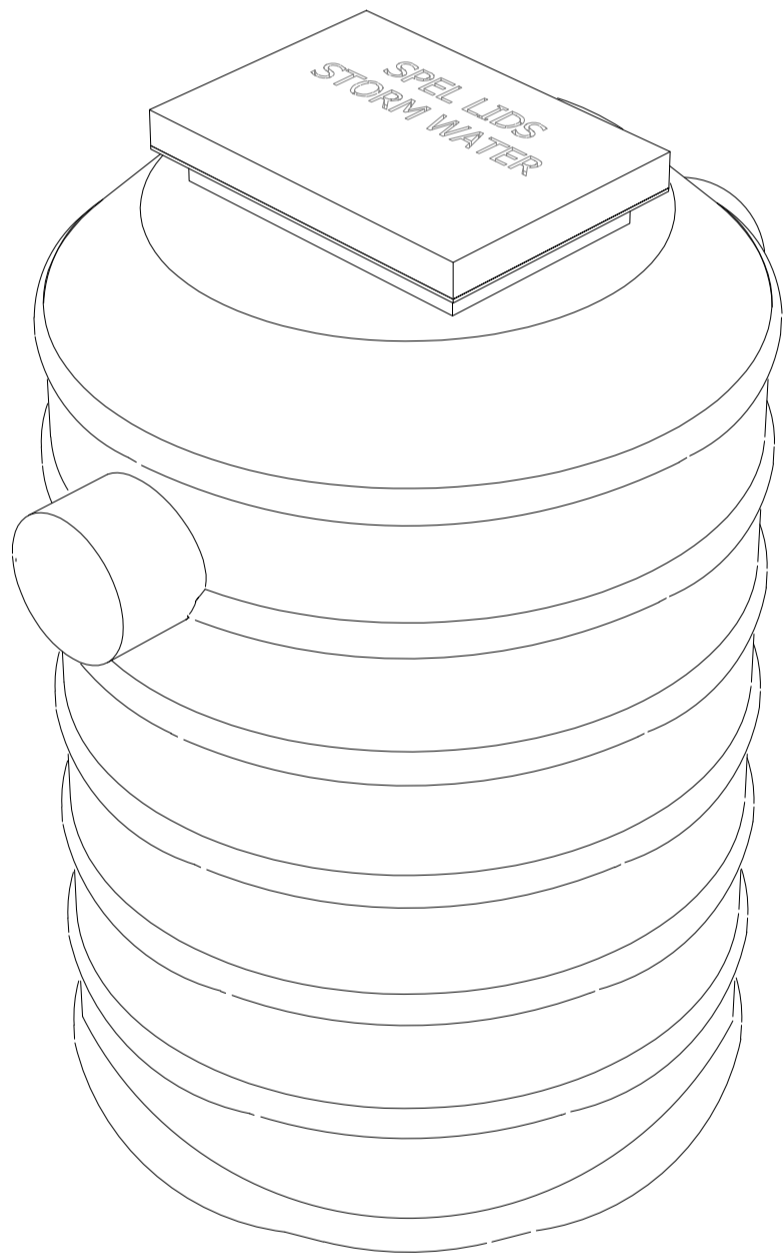
PLAN VIEW



ELEVATION VIEW



SIDE VIEW



ISOMETRIC VIEW

TOLERANCE:
ALL DIMENSIONS 10mm UNLESS OTHERWISE STATED.

Rev.	Date	Description	Des.	Verif.	Appd.
F	17/04/2023	FINAL DRAWINGS FOR Part 5 APPLICATION	TM	FL	JS
E	20/10/2022	DRAFT FOR REVIEW	TM	FL	JS
D	05/10/2022	DRAFT FOR REVIEW	TM	FL	JS
C	28/09/2022	DRAFT FOR REVIEW	TM	FL	JS
B	23/09/2022	DRAFT FOR REVIEW	TM	FL	JS
A	09/09/2022	DRAFT FOR REVIEW	TM	FL	JS



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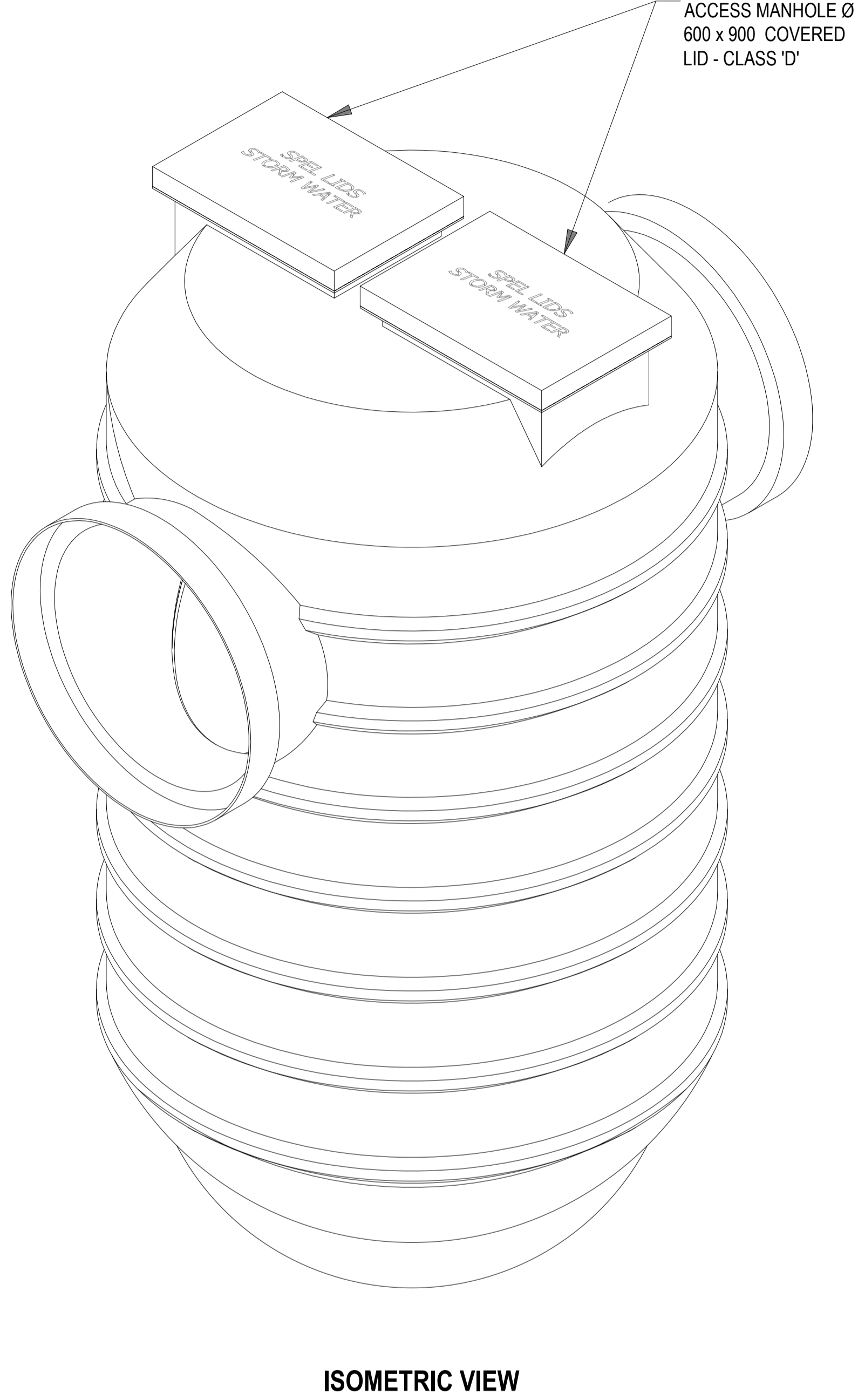
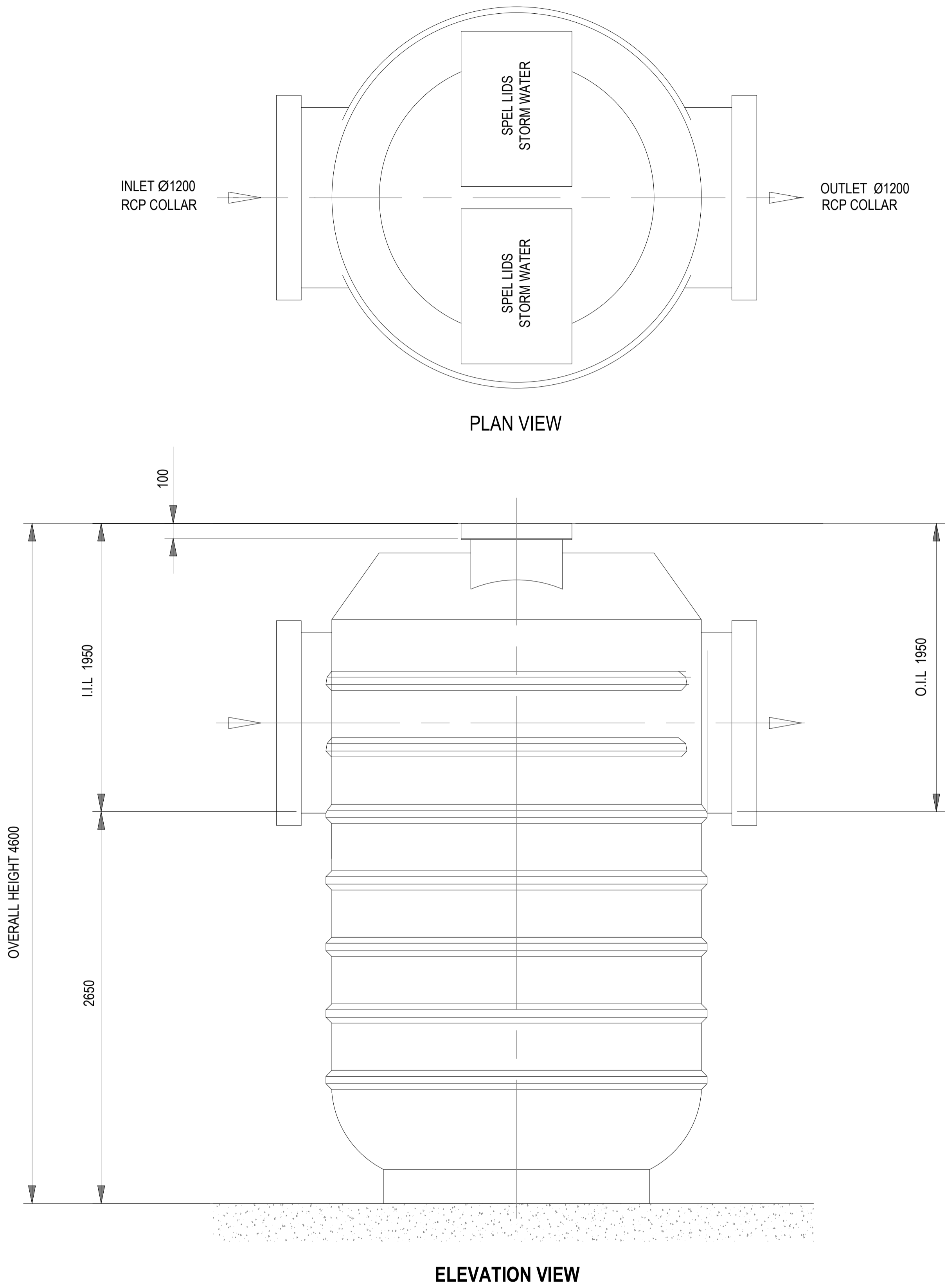

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Web: www.cardno.com.au

Drawn AA 20/10/2022	Date 20/10/2022	Client NSW Department of Planning and Environment
Checked JS 20/10/2022	Date 20/10/2022	Project POLO FLAT ROAD RESIDENTIAL DEVELOPMENT PRECINCT 2, LOT 2 & 4 DP 1285072
Designed TM 20/10/2022	Date 20/10/2022	Title WATER SENSITIVE URBAN DESIGN SPEL ECOCEPTOR - SERIES 4000 SHEET 1 OF 2
Verified FL 20/10/2022	Date 20/10/2022	Status FOR APPROVAL NOT TO BE USED FOR CONSTRUCTION PURPOSES
Approved JS 20/10/2022	Date 20/10/2022	Datum AHD
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	Drawing Number 50522046-C-2042	Revision F

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DATE PLOTTED: 17 April 2023 9:55 AM BY: DAVID PIGRAM



F	17/04/2023	FINAL DRAWINGS FOR Part 5 APPLICATION	TM	FL	JS	
E	20/10/2022	DRAFT FOR REVIEW	TM	FL	JS	
D	05/10/2022	DRAFT FOR REVIEW	TM	FL	JS	
C	28/09/2022	DRAFT FOR REVIEW	TM	FL	JS	
B	23/09/2022	DRAFT FOR REVIEW	TM	FL	JS	
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Rev.	Date	Description	Des.	Verif.	Appd.	

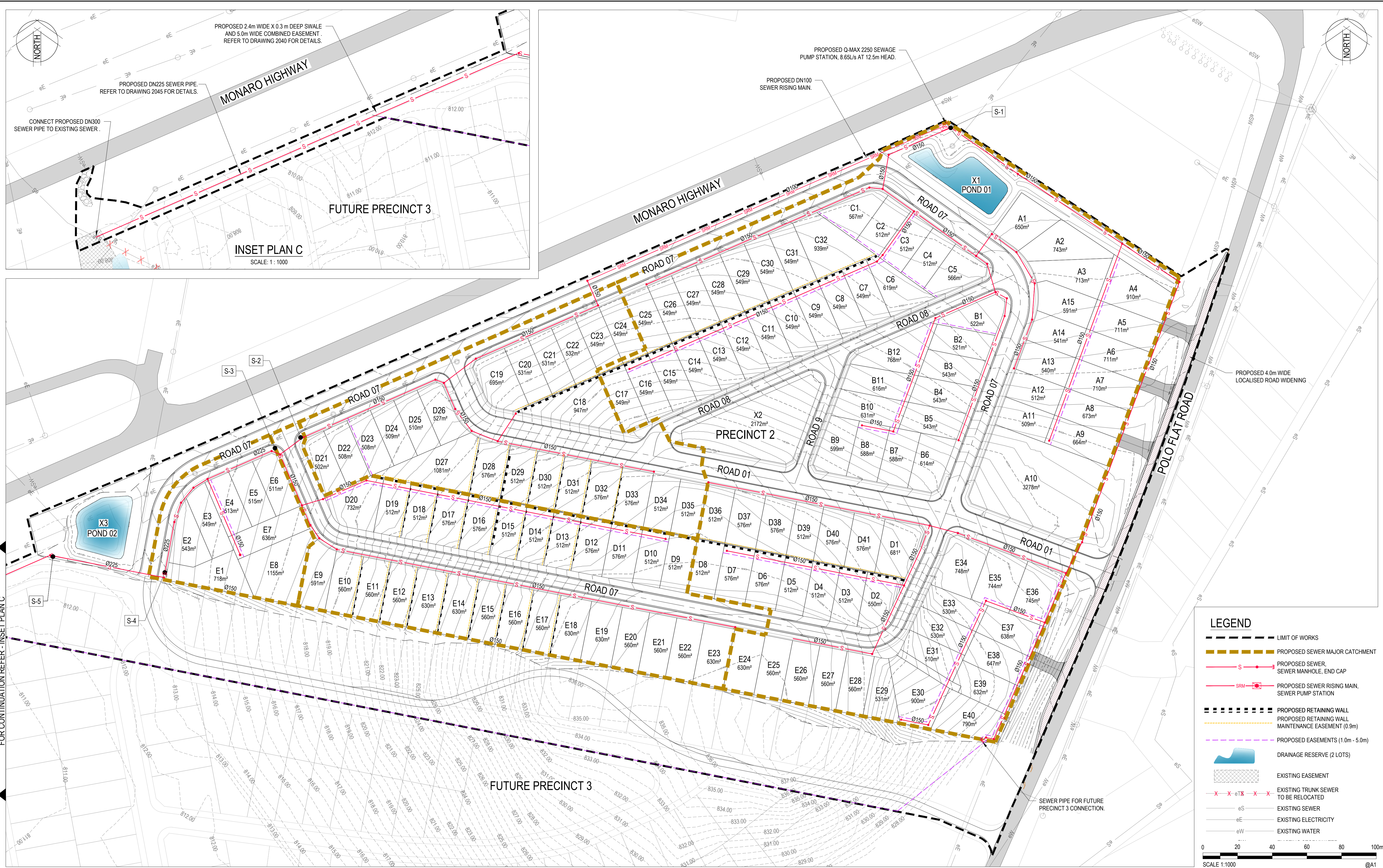


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Drawn AA	Date 20/10/2022	Client NSW Department of Planning and Environment
Checked JS	Date 20/10/2022	Project POLO FLAT ROAD RESIDENTIAL DEVELOPMENT PRECINCT 2, LOT 2 & 4 DP 1285072
Designed TM	Date 20/10/2022	Title WATER SENSITIVE URBAN DESIGN SPEL ECOCEPTOR - SERIES 8000 SHEET 2 OF 2
Verified FL	Date 20/10/2022	Status FOR APPROVAL NOT TO BE USED FOR CONSTRUCTION PURPOSES
Approved JS	Date 20/10/2022	Drawing Number 50522046-C-2043
		Revision F

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FOR CONTINUATION REFER - INSET PLAN C
X_LIMIT OF WORKS: 20220825 retaining walls
DATE PLOTTED: 4 May 2023 2:54 PM BY: DAVID PIGRAM



F	17/04/2023	FINAL DRAWINGS FOR Part 5 APPLICATION	TM	FL	JS
E	20/10/2022	DRAFT FOR REVIEW	TM	FL	JS
D	05/10/2022	DRAFT FOR REVIEW	TM	FL	JS
C	28/09/2022	DRAFT FOR REVIEW	TM	FL	JS
B	23/09/2022	DRAFT FOR REVIEW	TM	FL	JS
A	09/09/2022	DRAFT FOR REVIEW	TM	FL	JS
Rev.	Date	Description	Des.	Verif.	Appd.



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Drawn	AA	Date	20/10/2022
Checked	JS	Date	20/10/2022
Designed	TM	Date	20/10/2022
Verified	FL	Date	20/10/2022
Approved	JS	Date	20/10/2022

Client	NSW Department of Planning and Environment
Project	POLO FLAT ROAD RESIDENTIAL DEVELOPMENT PRECINCT 2, LOT 2 & 4 DP 1285072
Title	CONCEPT SEWER PLAN

Status	FOR APPROVAL
NOT TO BE USED FOR CONSTRUCTION PURPOSES	
Date	20/10/2022
Datum	AHD
Scale	1:1000
Size	A1
Drawing Number	50522046-C-2045
Revision	F

XREFs: 50522046 A1Title: Cooma201108-LD1-AHD_8925988_45_0002_0002_1m_Coimbra_X_CADAST_EXST_YALLAKOOL_RD_50522046_X_ROAD_PATH_LAYT - REVISION 2, 20220825 retaining walls
CAD File: N:\Project\50522046_YALLAKOOL_RD_RESIDENTIAL DEVELOPMENT\Drawings\Build\DA\Preindict 2\50522046-C-2045 Sewer Plan.dwg
DATE PLOTTED: 17 April 2023 9:54 AM BY: DAVID PIGRAM

		"Residential" (No. Dwelling)"										Flow Calculations ²								Ssc and Sss Grading Requirements					
Node	Incorporating Catchment Nodes			Number of dwellings per NSA ha	TEP Residential	Density (For Residential Only) Eqn 3.4.4.1	TEP mixed landuse Eqn. 3.3.2A	TEP mixed landuse Eqn. 3.3.2B	sum (Residential EP)+sum (non residential EP)	TEP	Total NSA (Ha)	ADWF (L/S), PCC= 180 l/EP/day: Eqn 3.4.2.2	PDWF (L/s)	GWl (L/s)	RDI (L/s), i(1,2)= 22 mm , EY=0.5	Total Pump Flow	Design Flow (L/s) - PWWF	Select Pipe Size	ID (mm)	Min Pipe Grade ICON Water Table IW.5 for DN150 & larger 80/ID (%)	Qsc - Minimum Flow for Self Cleansing (From WSAA Sewer Pipe Sizing Calculator) (L/s)	Pipe Capacity Qdf (L/s) at min grade (k=1.5mm)	Overall Min Grade Requirement (%)	Ultimate Design Grade (%)	Pipe Capacity Qf (L/s) at ultimate grade and design Pipe size (k=1.5mm)
S-1		85	20	14	347.5	44.8	347.5	125.1	347.5	347.5	7.752	0.72	2.35	0.11	5.72	0.00	8.18	DN150	150.000	0.7%	1.55	12.97	0.70%	0.70%	12.97
S-2'		20		12	70.0	43.7	70.0	25.2	70.0	70.0	1.603	0.15	0.56	0.02	1.41	0.00	1.99	DN150	150.000	0.8%	1.23	13.83	0.80%	0.80%	13.83
S-2	S-1, S-2'	105	20	13	417.5	44.6	417.5	150.3	417.5	417.5	9.355	2.87	6.01	0.13	6.74	8.18	12.88	DN150	150.000	0.7%	1.55	13.83	0.70%	0.70%	13.83
S-3'		26		13	91.0	46.0	91.0	32.8	91.0	91.0	1.977	0.19	0.70	0.03	1.74	0.00	2.47	DN150	150.000	0.8%	1.23	15.48	0.80%	0.80%	13.83
S-3	S-2, S-3'	131	20	13	508.5	44.9	508.5	183.1	508.5	508.5	11.332	3.06	6.71	0.16	8.00	0.00	14.87	DN225	225.000	0.7%	1.84	38.27	0.70%	0.70%	38.27
S-4'		8		13	28.0	44.5	28.0	10.1	28.0	28.0	0.629	0.06	0.24	0.01	0.63	0.00	0.88	DN150	150.000	1.0%	0.84	17.00	1.00%	1.00%	15.48
S-4	S-3, S-4'	139	20	13	536.5	44.9	536.5	193.1	536.5	536.5	11.961	3.12	6.96	0.17	8.38	0.00	15.51	DN225	225.000	0.7%	1.84	38.27	0.70%	0.70%	38.27
S-5	S-4	139	20	13	536.5	44.9	536.5	193.1	536.5	536.5	11.961	3.12	6.96	0.17	8.38	0.00	15.51	DN225	225.000	0.7%	1.84	38.27	0.73%	0.73%	38.27

- NOTE:
- LAND USE CLASSIFICATION AND CORRESPONDING EP RATE IS IN ACCORDANCE WITH ICON WATER STD SPE-G-011 TABLE IW.1.
 - FLOW CALCULATIONS ARE UNDERTAKEN IN ACCORDANCE WITH ICON WATER STD SPE-G-011 IW.3.4

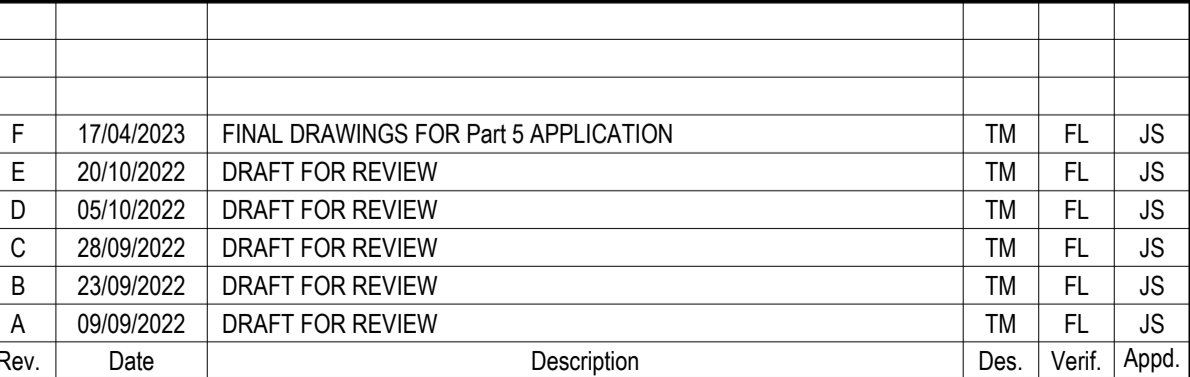
F	17/04/2023	FINAL DRAWINGS FOR Part 5 APPLICATION	TM	FL	JS	
E	20/10/2022	DRAFT FOR REVIEW	TM	FL	JS	
D	05/10/2022	DRAFT FOR REVIEW	TM	FL	JS	
C	28/09/2022	DRAFT FOR REVIEW	TM	FL	JS	
B	23/09/2022	DRAFT FOR REVIEW	TM	FL	JS	
A	09/09/2022	DRAFT FOR REVIEW	TM	FL	JS	
Rev.	Date	Description	Des.	Verif.	Appd.	



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Drawn AA	Date 20/10/2022	Client NSW Department of Planning and Environment
Checked JS	Date 20/10/2022	Project POLO FLAT ROAD RESIDENTIAL DEVELOPMENT PRECINCT 2, LOT 2 & 4 DP 1285072
Designed TM	Date 20/10/2022	Title CONCEPT SEWER PLAN SEWER CALCULATIONS TABLE
Verified FL	Date 20/10/2022	Status FOR APPROVAL NOT TO BE USED FOR CONSTRUCTION PURPOSES
Approved JS	Date 20/10/2022	Drawing Number 50522046-C-2046
		Revision F



XREFs: 50522046 A1Title: Coma201108-LID1-AHD 8925988 55 0002 0002 1m Contours X CADAST EXST YALLAKOOL RD 50522046 X ROAD NAME TEXT: 50522046 X_SERV_PROF - REVISION 2: X DES CONTOURS: 50522046 X_ROAD_PATH_LAYT - REVISION 2: X_LGND: X-LIMIT OF WORKS: 20220825 retaining walls
CAD File: N:\Project\50522046 YALLAKOOL RD RESIDENTIAL DEVELOPMENT\Drawings\Build\DA\Predict 2\50522046-C-2050 Water Plan.dwg
DATE PLOTTED: 17 April 2023 9:52 AM BY: DAVID PIGRAM

Node	Elevation	No. Dwelling	Peak Demand (L/s)	Fire Flow Demand (L/s)	Combined Peak Demand and Fire Flow (L/s)
W-1		11	5.78	25	30.78
W-2		12	6.30	25	31.30
W-3		13	6.83	25	31.83
W-4		13	6.83	25	31.83
W-5		9	4.73	25	29.73
W-6		26	13.65	25	38.65
W-7		19	9.98	25	34.98
W-8		20	10.50	25	35.50
W-9		15	7.88	25	32.88
W-9		13	6.83	25	31.83
Main Connection Point		151	72.45		

F	17/04/2023	FINAL DRAWINGS FOR Part 5 APPLICATION	TM	FL	JS
E	20/10/2022	DRAFT FOR REVIEW	TM	FL	JS
D	05/10/2022	DRAFT FOR REVIEW	TM	FL	JS
C	28/09/2022	DRAFT FOR REVIEW	TM	FL	JS
B	23/09/2022	DRAFT FOR REVIEW	TM	FL	JS
A	09/09/2022	DRAFT FOR REVIEW	TM	FL	JS
Rev.	Date	Description	Des.	Verif.	Appd.



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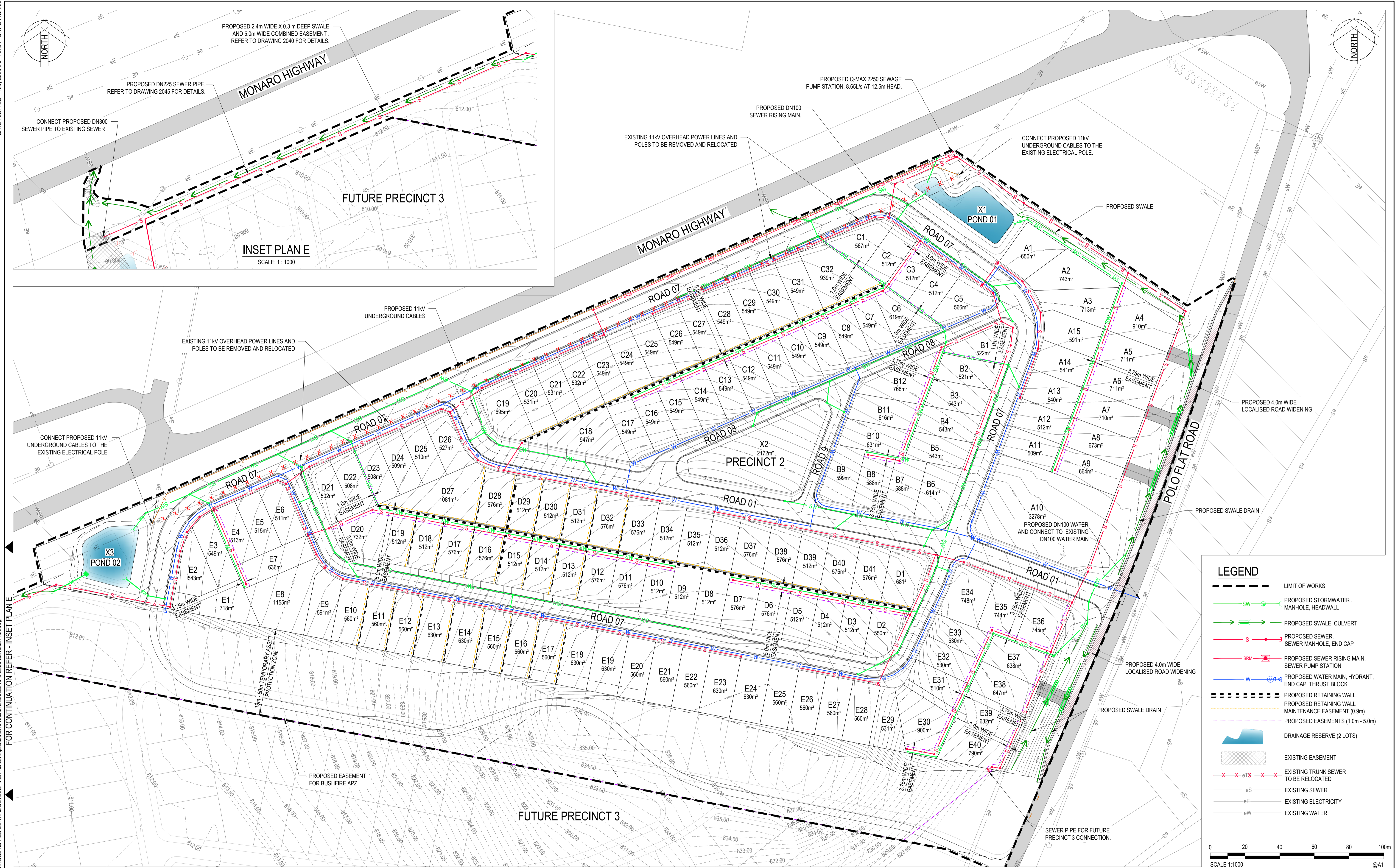
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Drawn AA	Date 20/10/2022	Client NSW Department of Planning and Environment
Checked JS	Date 20/10/2022	Project POLO FLAT ROAD RESIDENTIAL DEVELOPMENT PRECINCT 2, LOT 2 & 4 DP 1285072
Designed TM	Date 20/10/2022	Title WATER DEMAND CALCULATION
Verified FL	Date 20/10/2022	
Approved JS	Date 20/10/2022	
		Status FOR APPROVAL NOT TO BE USED FOR CONSTRUCTION PURPOSES
		Date 20/10/2022
		Datum AHD
		Scale NTS
		Size A1
		Drawing Number 50522046-C-2051
		Revision F

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FOR CONTINUATION REFER - INSET PLAN E

Rev.	Date	Description	Des.	Verif.	Appd.
F	17/04/2023	FINAL DRAWINGS FOR Part 5 APPLICATION	TM	FL	JS
E	20/10/2022	DRAFT FOR REVIEW	TM	FL	JS
D	05/10/2022	DRAFT FOR REVIEW	TM	FL	JS
C	28/09/2022	DRAFT FOR REVIEW	TM	FL	JS
A	23/09/2022	DRAFT FOR REVIEW	TM	FL	JS
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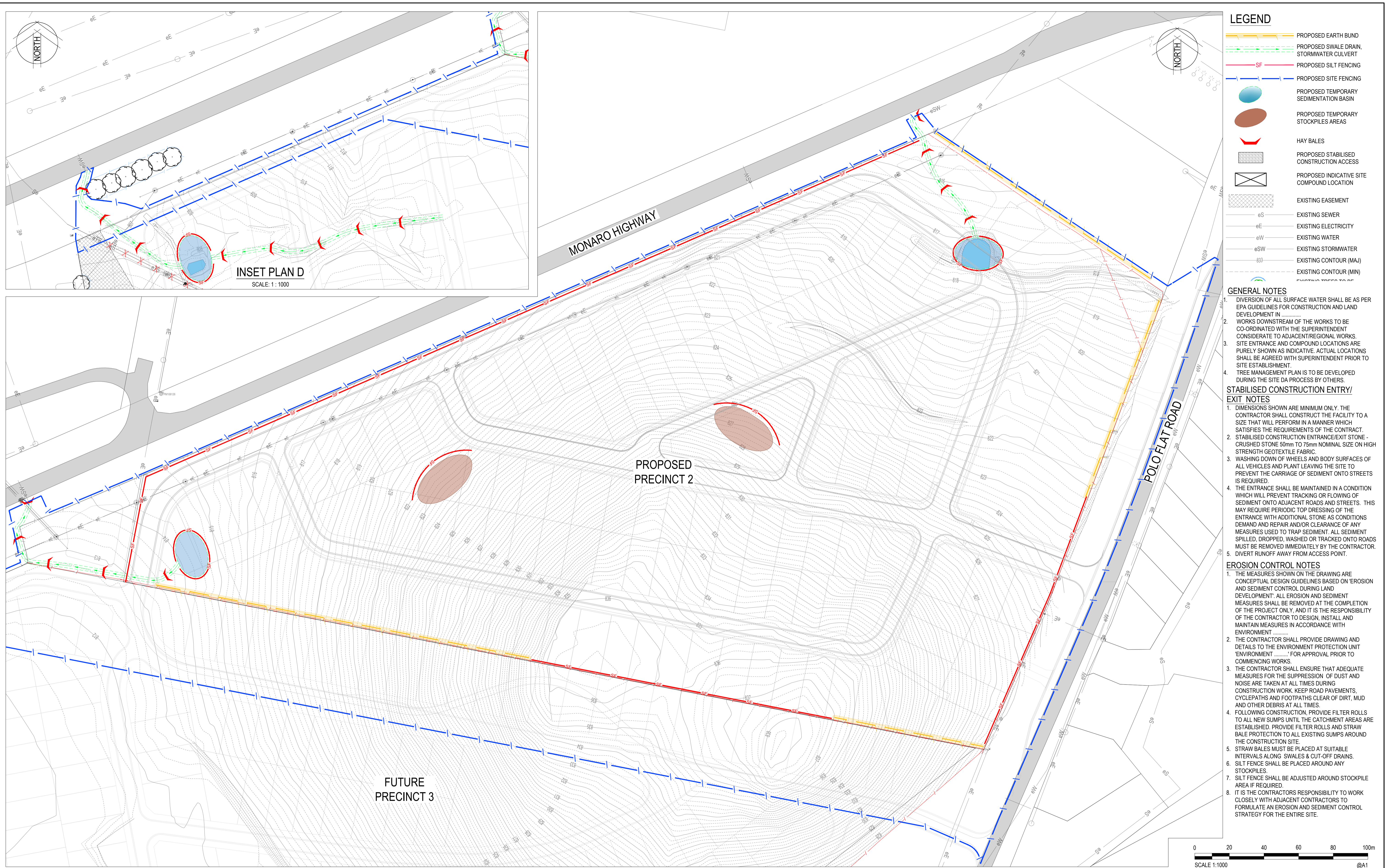
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Drawn	AA	Date	20/10/2022
Checked	JS	Date	20/10/2022
Designed	TM	Date	20/10/2022
Verified	FL	Date	20/10/2022
Approved	JS	Date	20/10/2022

Client	NSW Department of Planning and Environment
Project	POLO FLAT ROAD RESIDENTIAL DEVELOPMENT PRECINCT 2, LOT 2 & 4 DP 1285072
Title	CONCEPT SERVICES PLAN

Status	FOR APPROVAL
NOT TO BE USED FOR CONSTRUCTION PURPOSES	
Date	20/10/2022
Datum	AHD
Scale	1:1000
Size	A1
Drawing Number	50522046-C-2055
Revision	F



F	17/04/2023	FINAL DRAWINGS FOR Part 5 APPLICATION				
E	20/10/2022	DRAFT FOR REVIEW	TM	FL	JS	
D	05/10/2022	DRAFT FOR REVIEW	TM	FL	JS	
C	28/09/2022	DRAFT FOR REVIEW	TM	FL	JS	
B	23/09/2022	DRAFT FOR REVIEW	TM	FL	JS	
A	09/09/2022	DRAFT FOR REVIEW	TM	FL	JS	
Rev.	Date	Description	Des.	Verif.	Appd.	



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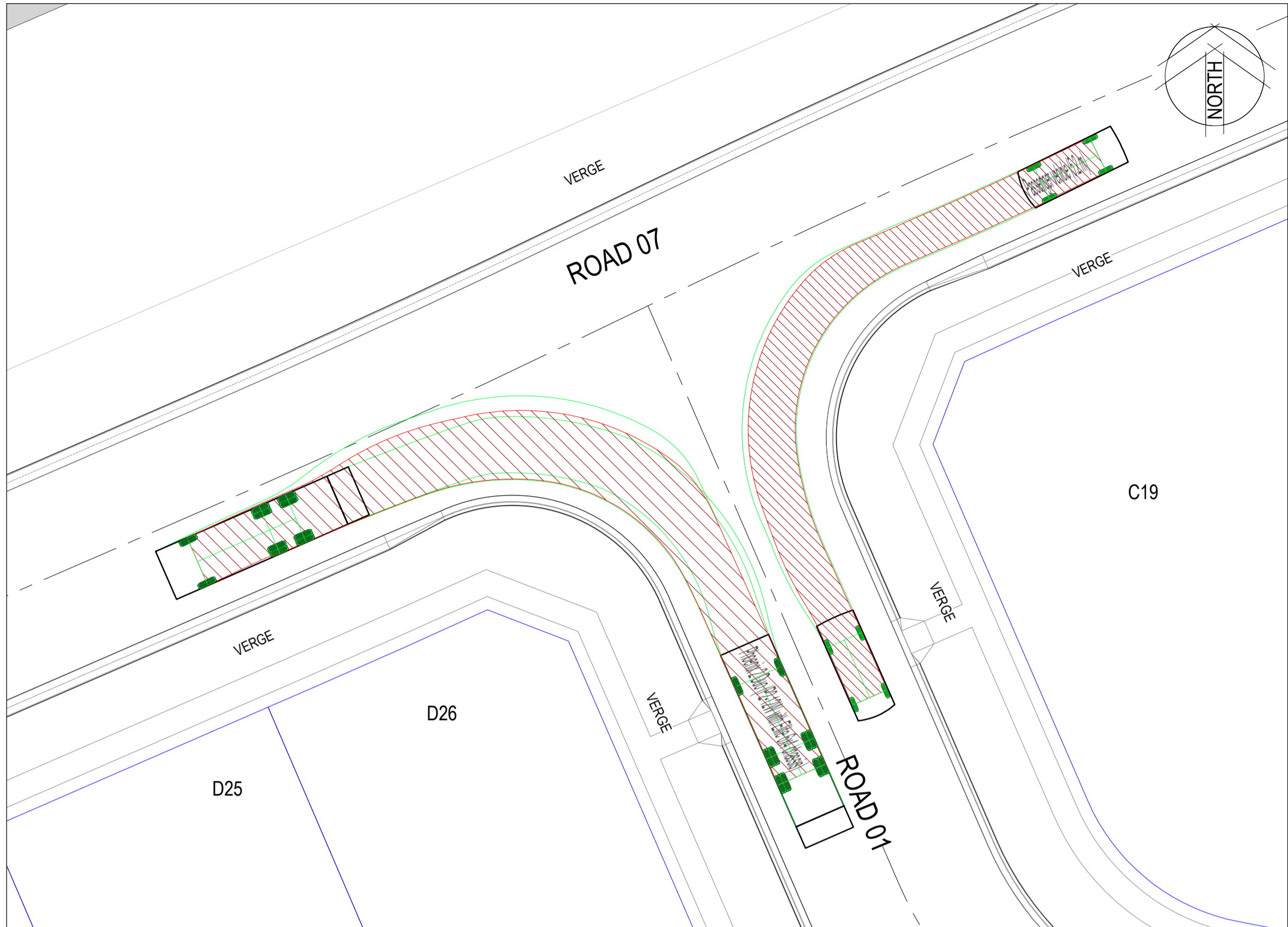
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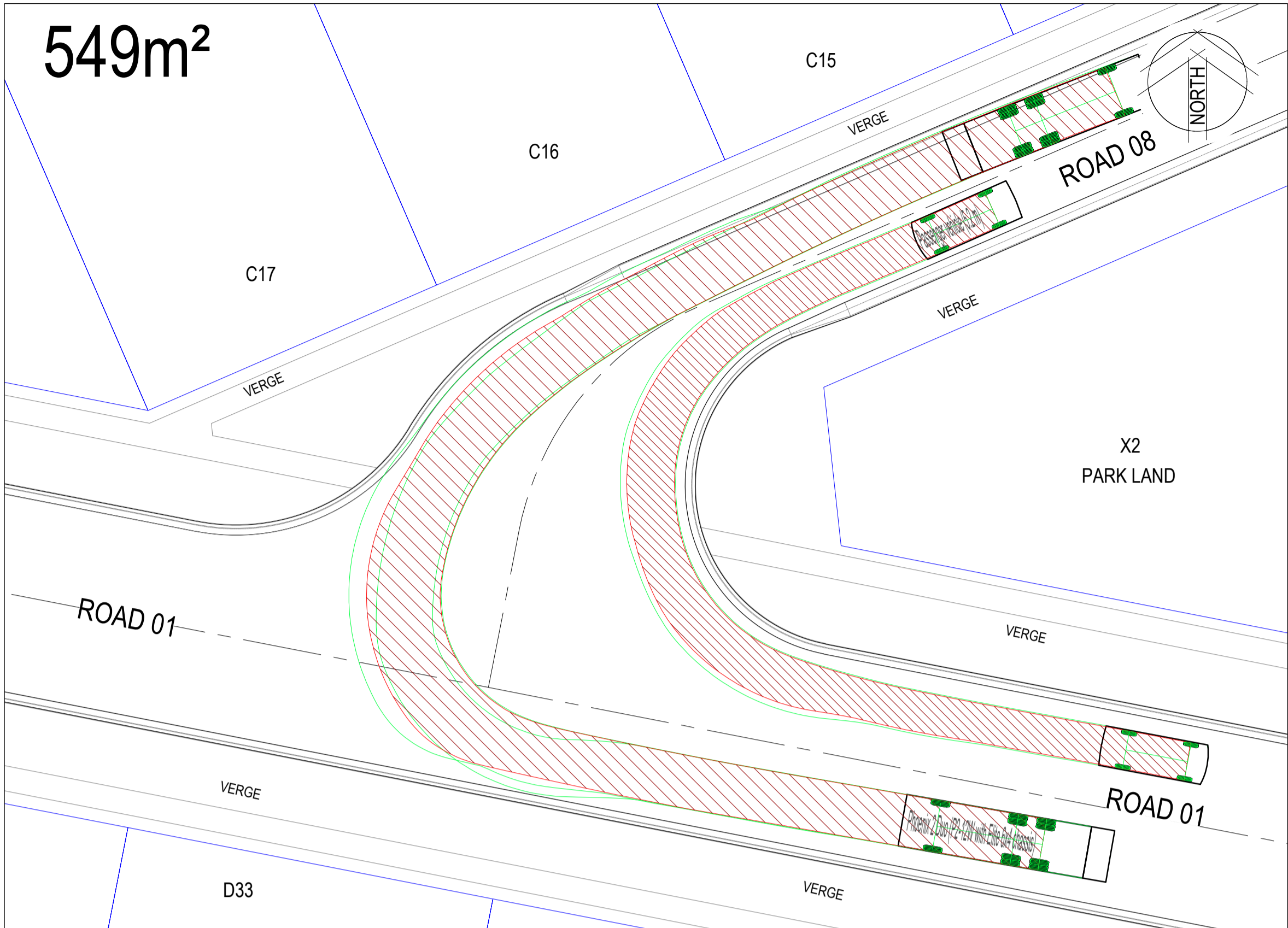
Drawn AA	Date 20/10/2022	Client NSW Department of Planning and Environment				
Checked JS	Date 20/10/2022	Project POLO FLAT ROAD RESIDENTIAL DEVELOPMENT PRECINCT 2, LOT 2 & 4 DP 1285072	Status	FOR APPROVAL		
Designed TM	Date 20/10/2022		NOT TO BE USED FOR CONSTRUCTION PURPOSES			
Verified FL	Date 20/10/2022		Date 20/10/2022	Datum AHD	Scale 1:1000	Size A1
Approved		Title SOIL AND WATER MANAGEMENT PLAN	Drawing Number 50522046-C-2060			Revision F
JS	20/10/2022					

DATE PLOTTED: 17 April 2023 9:41 AM BY: DAVID PIGRAM

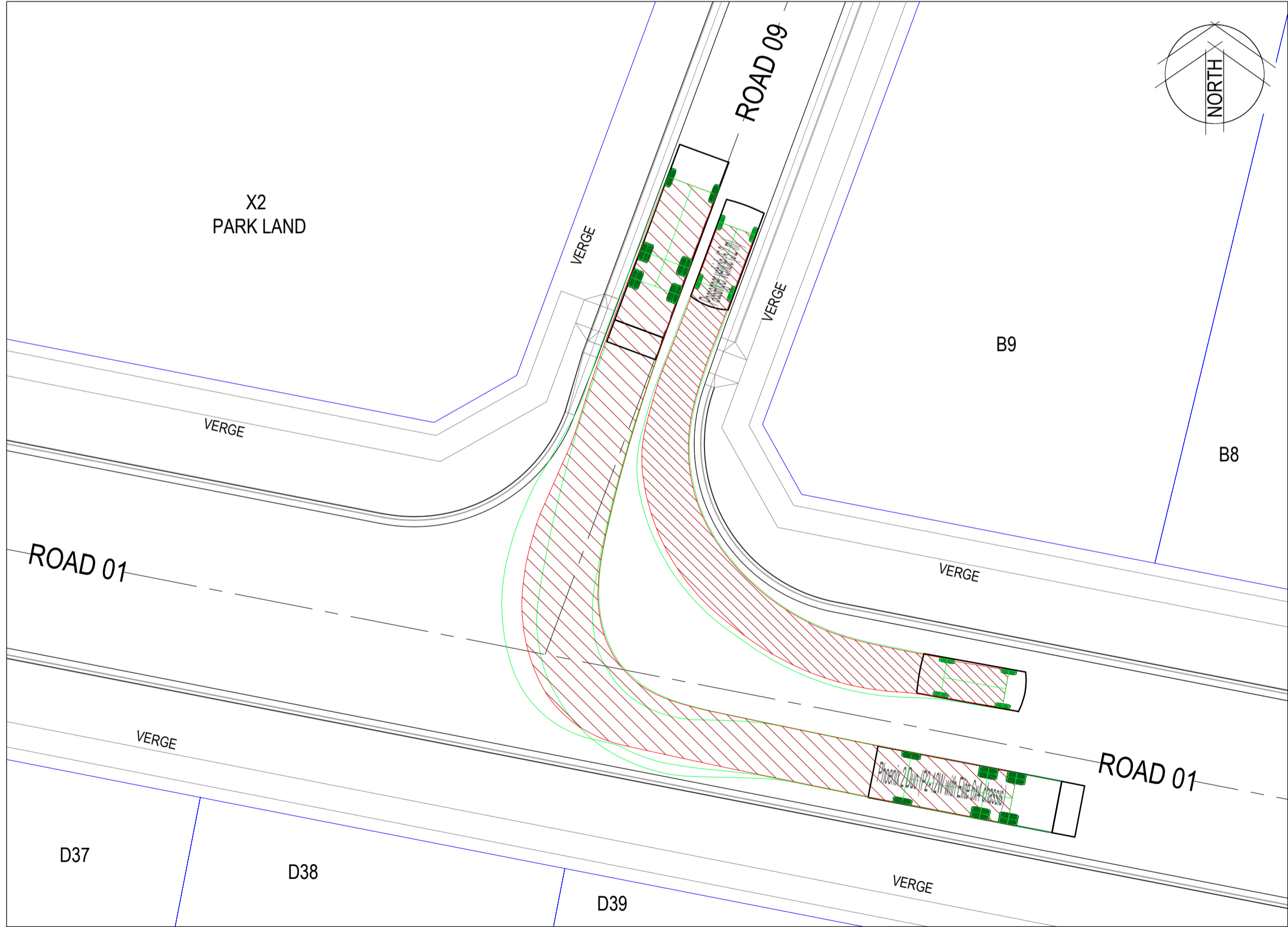
XREFs: 50522046 A1Title: Cooma201108-LD1-AHD_8925988_55_0002_0002_1m_X_CADAST_EXST_YALLAKOOL_RD_50522046 Lot Areas - REVISION 2: 50522046_X_ROAD_PATH_LAYT - REVISION 2: 50522046_X_ROAD_PATH_LAYT - REVISION 2: 50522046_X_LIMIT OF WORKS 20220825 retaining walls
CAD File: N:\Project\50522046_YALLAKOOL_RD_RESIDENTIAL DEVELOPMENT\Drawings\Build\DA\Precinct 2\50522046-C-2065_Turn Path.dwg



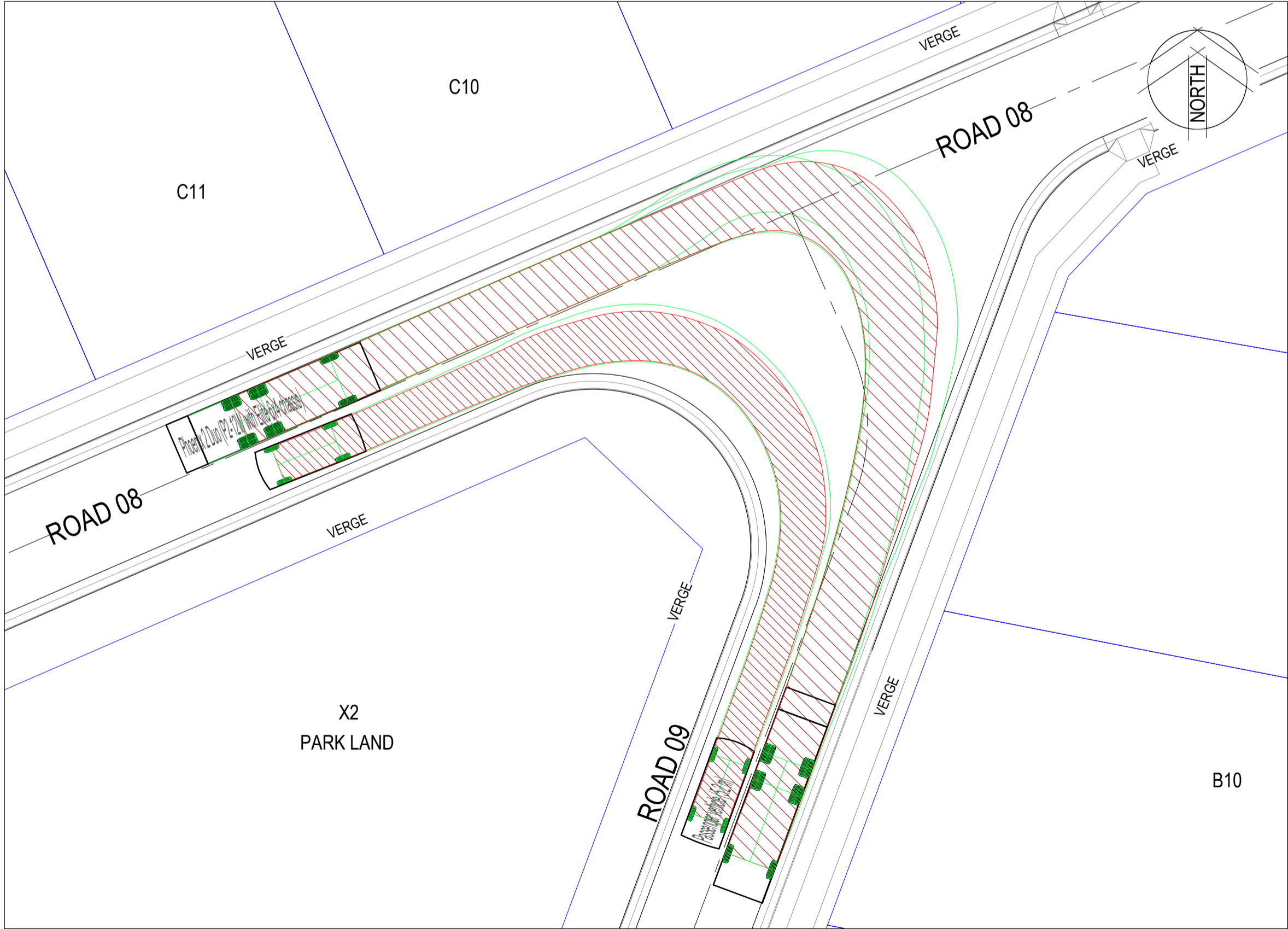
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SCALE 1:200



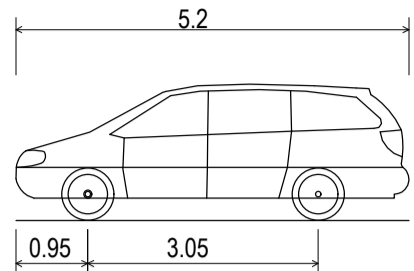
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SCALE 1:200



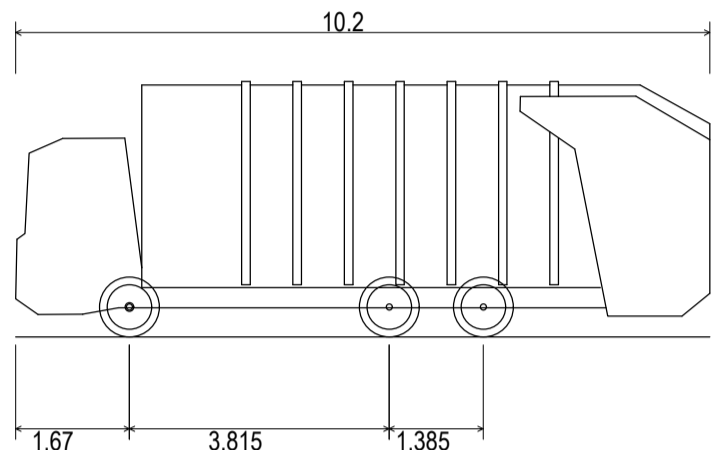
INTERSECTION - ROAD 01 AND ROAD 09
SCALE 1:200



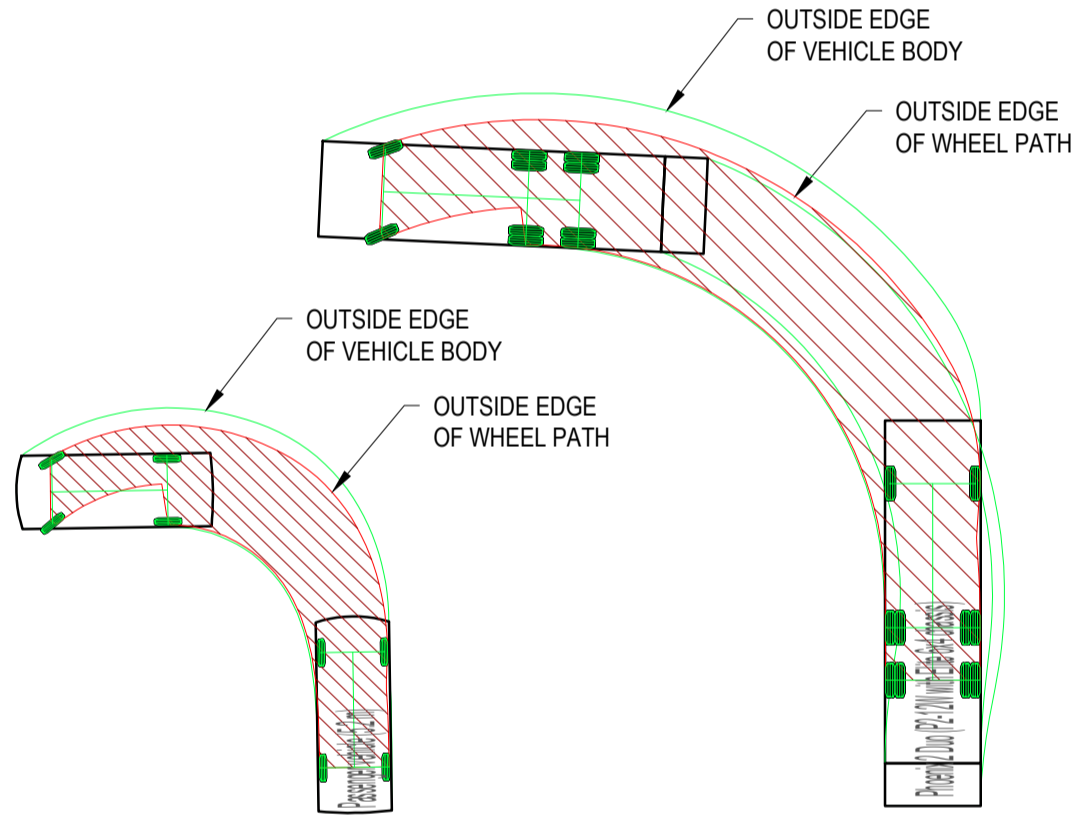
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SCALE 1:200



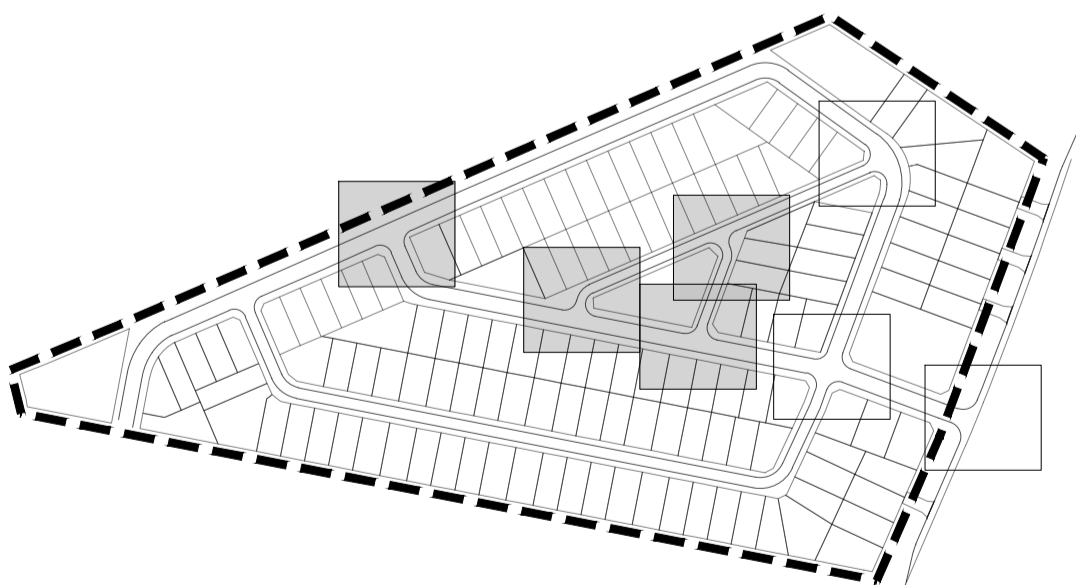
Passenger vehicle (5.2 m)	
Overall Length	5.200m
Overall Width	1.940m
Overall Body Height	1.804m
Min Body Ground Clearance	0.295m
Track Width	1.840m
Lock-to-lock time	4.00s
Curb to Curb Turning Radius	6.300m



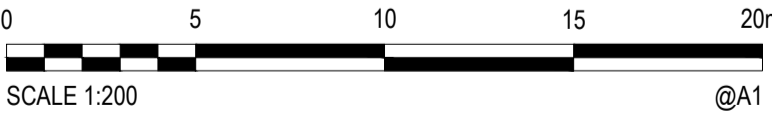
Phoenix 2 Duo (P2-12W with Elite 6x4 chassis)	
Overall Length	10.200m
Overall Width	2.530m
Overall Body Height	3.751m
Min Body Ground Clearance	0.304m
Track Width	2.500m
Lock-to-lock time	4.00s
Curb to Curb Turning Radius	7.800m



VEHICLE PATH TEMPLATE DETAIL
SCALE 1:200



KEY PLAN



Rev.	Date	Description	Des.	Verif.	Appd.
F	17/04/2023	FINAL DRAWINGS FOR Part 5 APPLICATION	TM	FL	JS
E	20/10/2022	DRAFT FOR REVIEW	TM	FL	JS
D	05/10/2022	DRAFT FOR REVIEW	TM	FL	JS
C	28/09/2022	DRAFT FOR REVIEW	TM	FL	JS
B	23/09/2022	DRAFT FOR REVIEW	TM	FL	JS
A	09/09/2022	DRAFT FOR REVIEW	TM	FL	JS



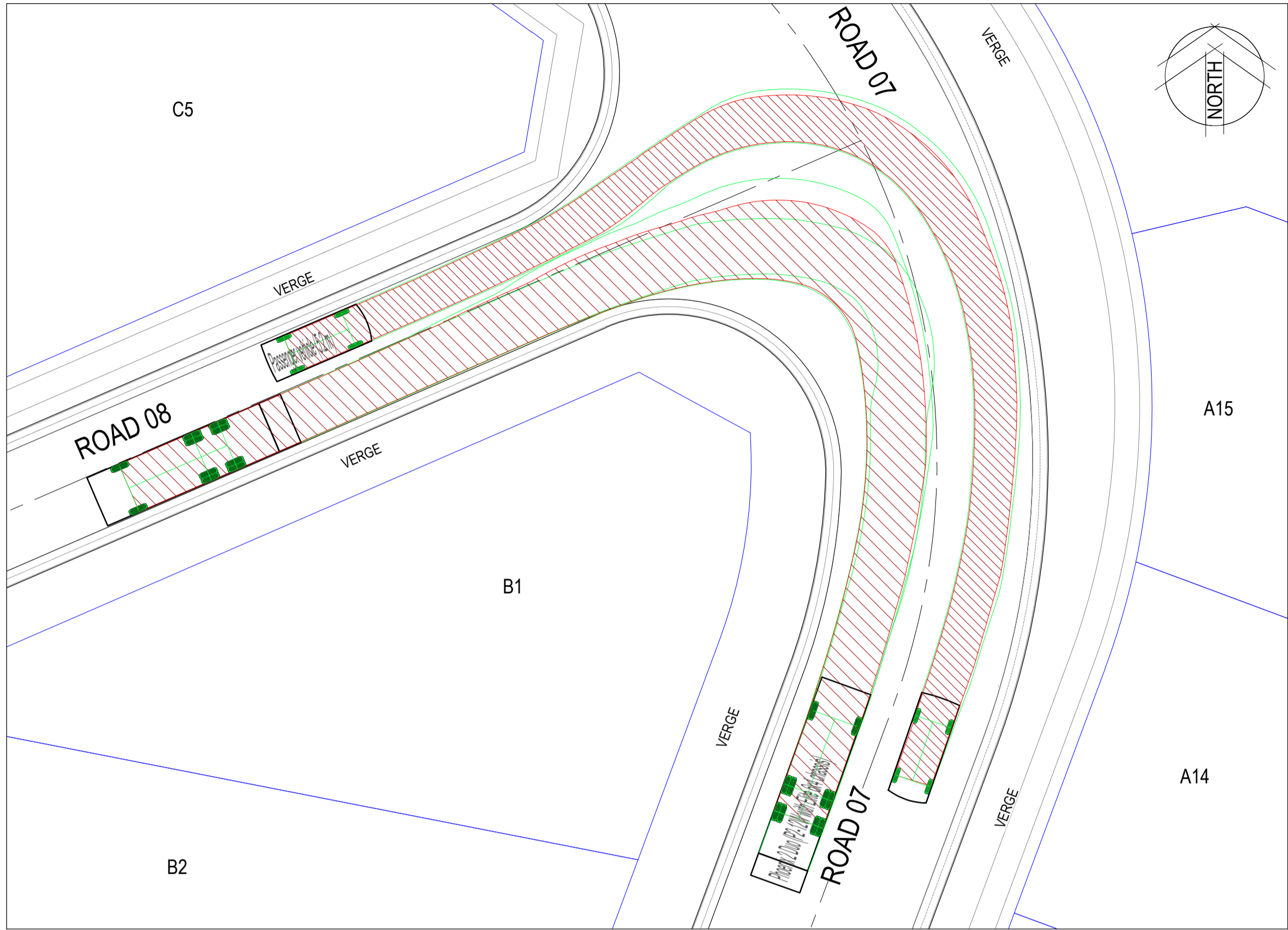
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Drawn	AA	Date	20/10/2022
Checked	JS	Date	20/10/2022
Designed	TM	Date	20/10/2022
Verified	FL	Date	20/10/2022
Approved	JS	Date	20/10/2022

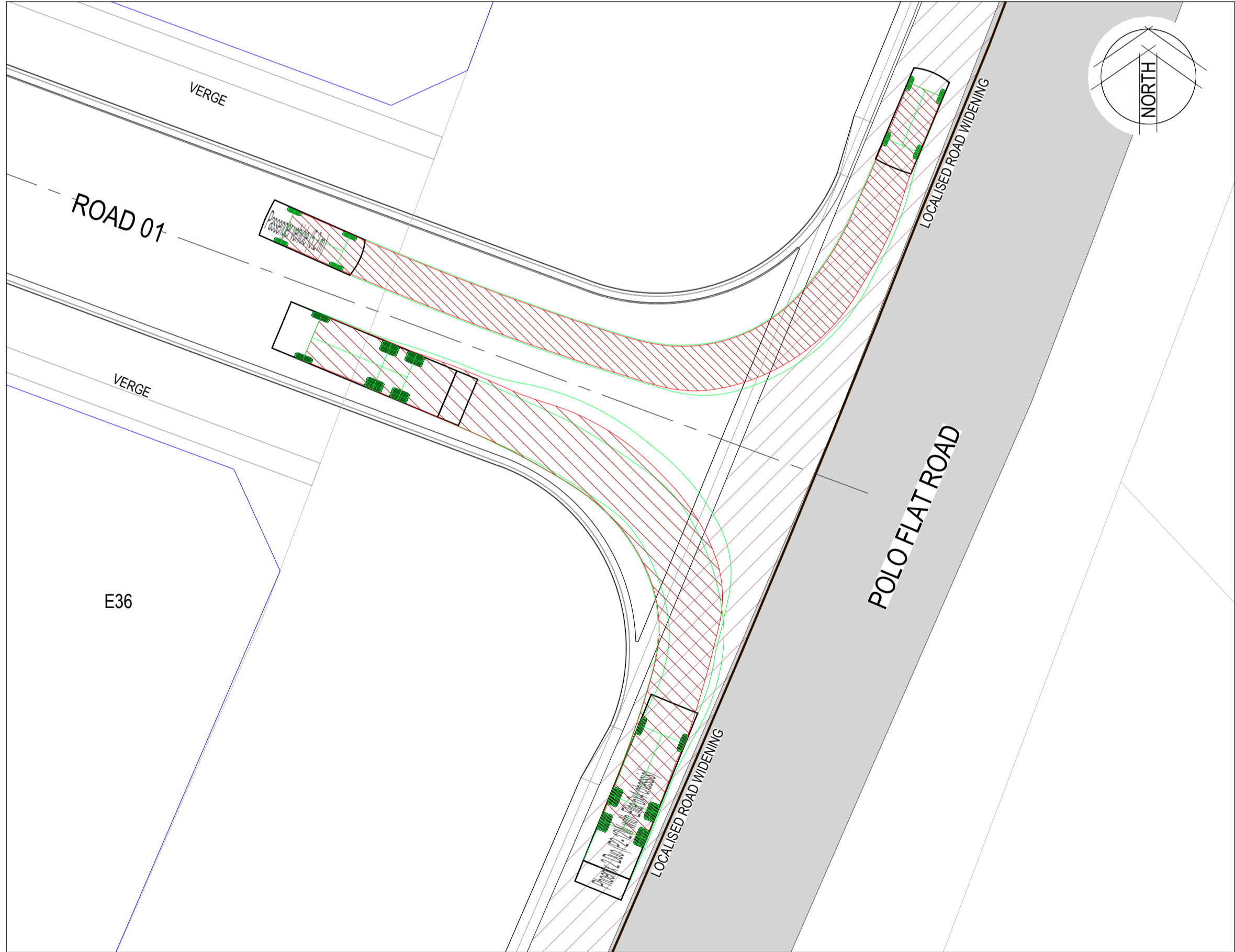
Client	NSW Department of Planning and Environment
Project	POLO FLAT ROAD RESIDENTIAL DEVELOPMENT PRECINCT 2, LOT 2 & 4 DP 1285072
Title	VEHICLE TURNING PATH ANALYSIS SHEET 1 OF 2

Status	FOR APPROVAL						
NOT TO BE USED FOR CONSTRUCTION PURPOSES							
Date	20/10/2022	Datum	AHD	Scale	1:200	Size	A1
Drawing Number						Revision	
50522046-C-2065						F	



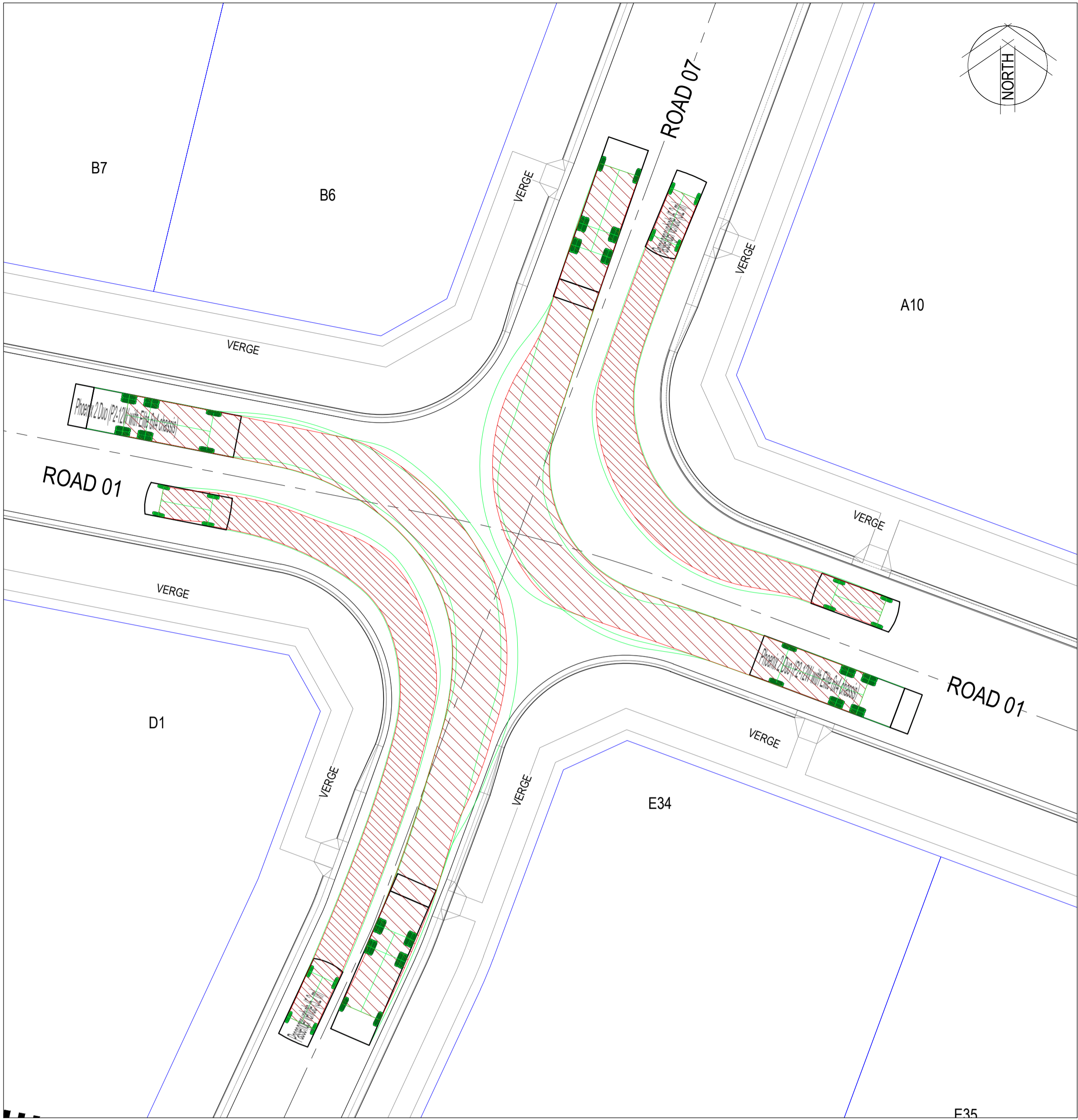
INTERSECTION - ROAD 08 AND ROAD 07

SCALE 1:200



ROAD 03 and ROAD 04 - VIEW STREET AND CROLL STREET ROUNDABOUT

SCALE 1:200



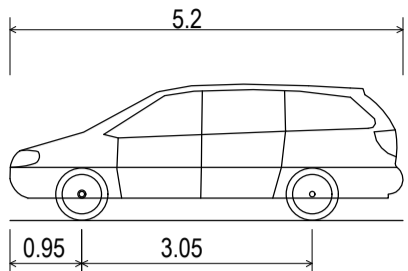
INTERSECTION - ROAD 07 AND ROAD 01

SCALE 1:200

LEGEND

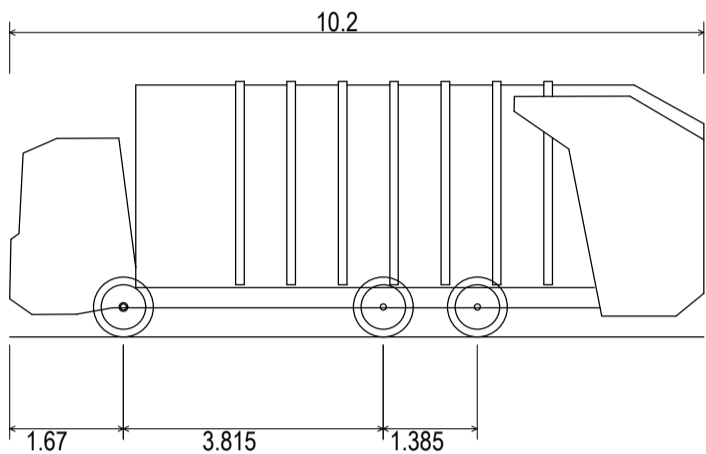
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BLOCK LETTER



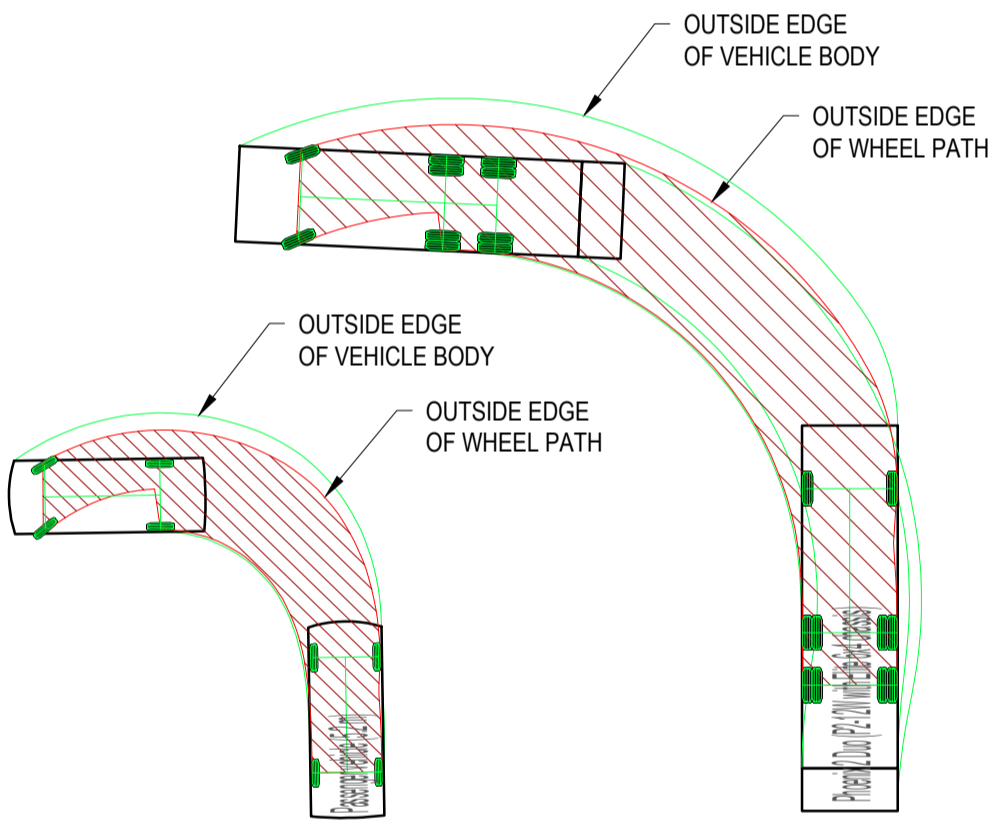
Passenger vehicle (5.2 m)

Overall Length	5.200m
Overall Width	1.940m
Overall Body Height	1.804m
Min Body Ground Clearance	0.295m
Track Width	1.840m
Lock-to-lock time	4.00s
Curb to Curb Turning Radius	6.300m



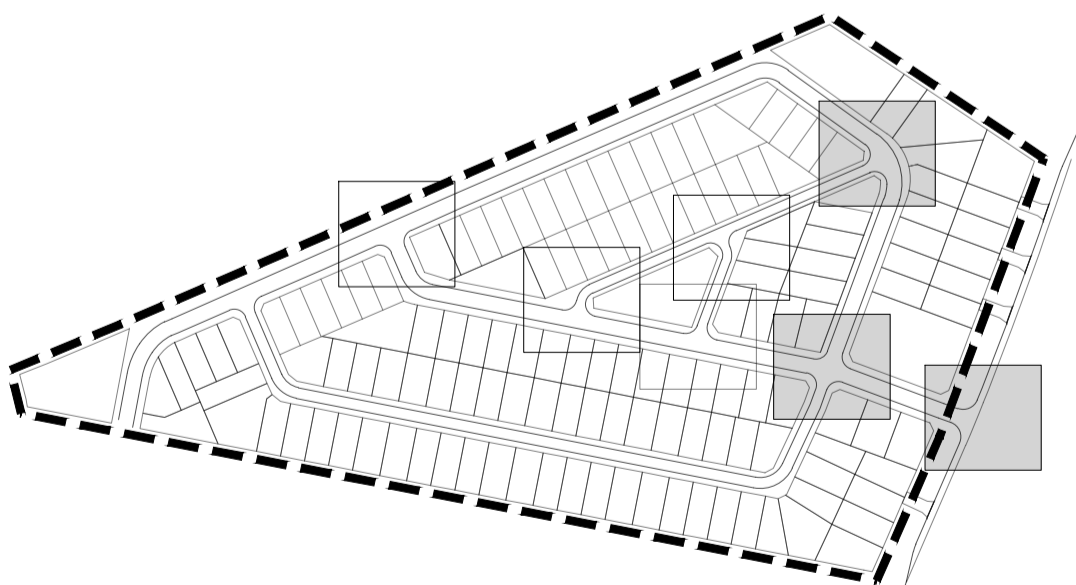
Phoenix 2 Duo (P2-12W with Elite 6x4 chassis)

Overall Length	10.200m
Overall Width	2.530m
Overall Body Height	3.751m
Min Bin Body Ground Clearance	0.304m
Track Width	2.500m
Lock-to-lock time	4.00s
Curb to Curb Turning Radius	7.800m

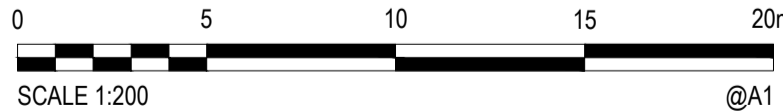


VEHICLE PATH TEMPLATE DETAIL

SCALE 1:200



KEY PLAN



Rev.	Date	Description	Des.	Verif.	Appd.
F	17/04/2023	FINAL DRAWINGS FOR Part 5 APPLICATION	TM	FL	JS
E	20/10/2022	DRAFT FOR REVIEW	TM	FL	JS
D	05/10/2022	DRAFT FOR REVIEW	TM	FL	JS
C	28/09/2022	DRAFT FOR REVIEW	TM	FL	JS
B	23/09/2022	DRAFT FOR REVIEW	TM	FL	JS
A	09/09/2022	DRAFT FOR REVIEW	TM	FL	JS



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Checked	JS	Date	20/10/2022
Designed	TM	Date	20/10/2022
Verified	FL	Date	20/10/2022
Approved	JS	Date	20/10/2022

Client	NSW Department of Planning and Environment
Project	POLO FLAT ROAD RESIDENTIAL DEVELOPMENT PRECINCT 2, LOT 2 & 4 DP 1285072
Title	VEHICLE TURNING PATH ANALYSIS SHEET 2 OF 2

Status		FOR APPROVAL					
NOT TO BE USED FOR CONSTRUCTION PURPOSES							
Date	20/10/2022	Datum	AHD	Scale	1:200	Size	A1
Drawing Number						Revision	
50522046-C-2066						F	